

ZONING REQUIREMENTS: C1-COMMERCIAL DISTRICT
INTERVALE OVERLAY DISTRICT

	REQUIRED	PROVIDED LOT 3
MIN. LOT AREA	40,000 SF	113,256 SF
MIN. LOT FRONT	200'	400'
FRONT SETBACK	40'	79.1'
SIDE SETBACK	25'	68.3'
BLD HEIGHT		44.5'
MAX IMPERVIOUS AREA	70%	36%

SEE SHEET 4 FOR LEGEND

FLOOD ZONE INFORMATION

SUBJECT PARCEL IS LOCATED IN ZONES AE & X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 33013C287E WHICH BEARS AN EFFECTIVE DATE OF APRIL 19, 2010. FEMA FLOOD ELEVATION WAS DETERMINED BY FIELD SURVEY PERFORMED BY RANGER ENGINEERING GROUP. FLOODWAY LINE WAS TRACED FROM THE ABOVE REFERENCED FEMA MAP.

SURVEY NOTES

1. THE LOCUS IS SHOWN ON TOWN OF WARNER ASSESSOR'S MAP 35 LOTS 4-1, 4-2, AND 4-3. LOCATED IN ZONING DISTRICT C1 COMMERCIAL AND THE INTERVALE OVERLAY DISTRICT, AND IS KNOWN AS 9 ROUTE 103 WEST.
2. DEED REFERENCE: BOOK 3579 PAGE 98, MERRIMACK COUNTY REGISTRY OF DEEDS.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
4. THE BASIS OF BEARING FOR THIS PLAN IS THE NORTH AMERICAN DATUM OF 1983 AS SHOWN ON PLAN #16243, MERRIMACK COUNTY REGISTRY OF DEEDS.
5. WETLANDS DELINEATED BY J. P. HAYES III CWS #18 IN ACCORDANCE WITH NEW HAMPSHIRE WETLANDS BUREAU REQUIREMENTS AND THE US ARMY CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL.
6. NHDOT DRIVEWAY ACCESS PERMIT # 05-463-0034, DATED 9/9/2021.

REFERENCE DEEDS:

1. BOOK 3579 PAGE 98 MERRIMACK COUNTY REGISTRY OF DEEDS

REFERENCE PLANS:

1. PLAN 16243
2. PLAN 11670
3. PLAN 7757
4. PLAN 307
5. STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED FEDERAL AID PROJECT I-89-I(57)19 N.H. PROJECT NO. P-7407-C INTERSTATE ROUTE I-89 SHEETS 76, 77, 80, & 81 ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION

EASEMENTS AND ENCUMBRANCES:

- EXISTING CONSERVATION EASEMENT
BOOK 2547 PAGE 1295
PLAN 16243
- EXISTING DRIVEWAY EASEMENT
BOOK 1842 PAGE 1520
PLAN 16243
- EXISTING INGRESS/EGRESS EASEMENT
BOOK 1842 PAGE 1520
PLAN 16243



DATE	NO.	REVISIONS	BY

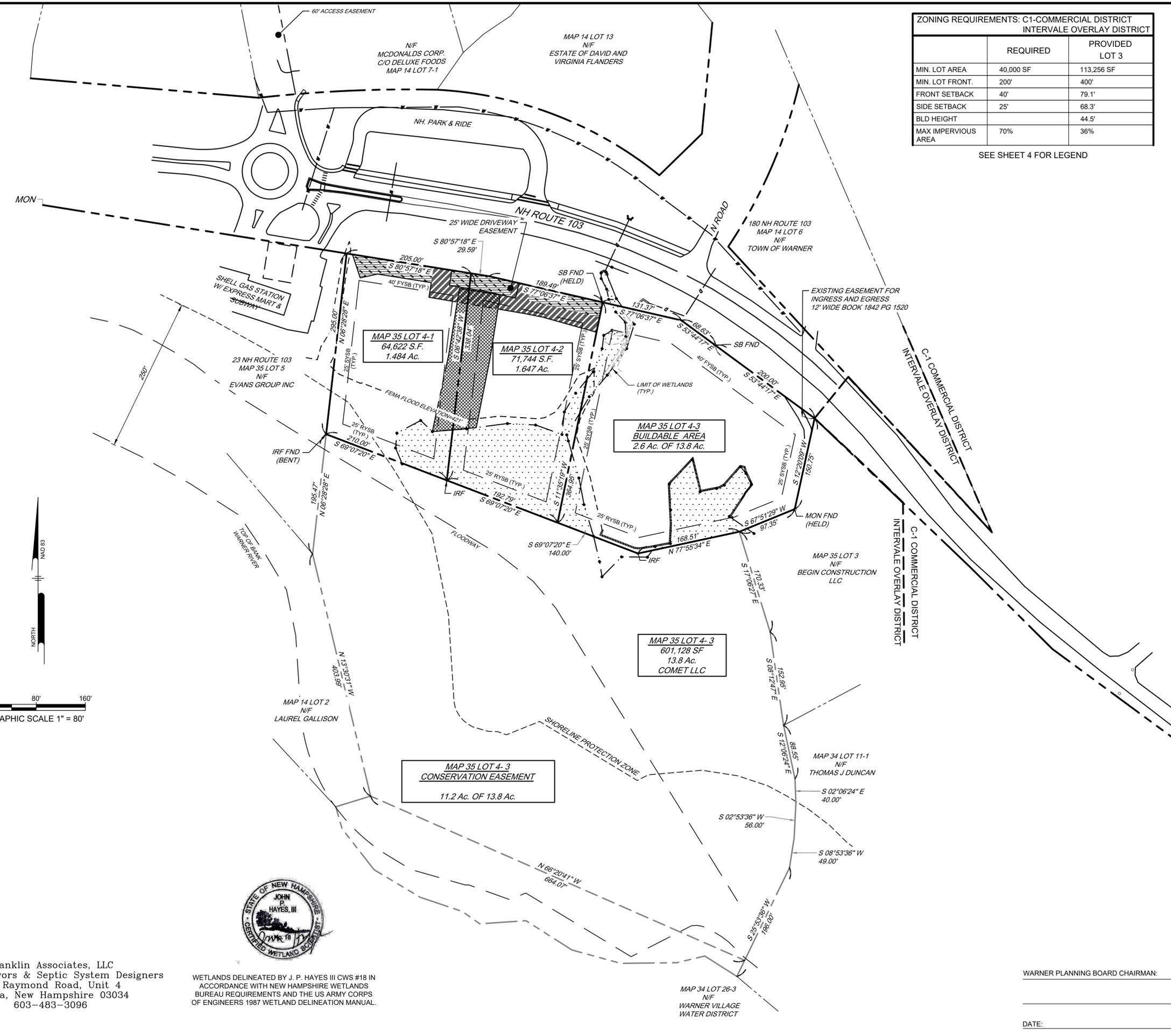
SITE PLAN
LOT 3 - ROUTE 103 WEST, WARNER NH,
ASSESSOR'S MAP 35 LOTS 4-3

OWNER: COMET, LLC
84 RANGE ROAD, WINDHAM, NH 03087

EXISTING CONDITIONS PLAN
CS0201

Ranger Engineering Group, Inc.
13 Red Roof Lane, Suite 203
Salem NH, 03079
Tel: 978-208-1762
rangereng.com

DATE: 2022-08-08 SCALE: 1" = 80' SHEET 3 OF 20



PROJECT STATUS: PLOTTED: 8/8/2022 11:51 AM BY: Cef PC
 PLOT STYLE: TITENHCS.dwg
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Franklin Associates, LLC
Land Surveyors & Septic System Designers
143 Raymond Road, Unit 4
Candia, New Hampshire 03034
603-483-3096

WETLANDS DELINEATED BY J. P. HAYES III CWS #18 IN ACCORDANCE WITH NEW HAMPSHIRE WETLANDS BUREAU REQUIREMENTS AND THE US ARMY CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL.



WARNER PLANNING BOARD CHAIRMAN: _____
DATE: _____

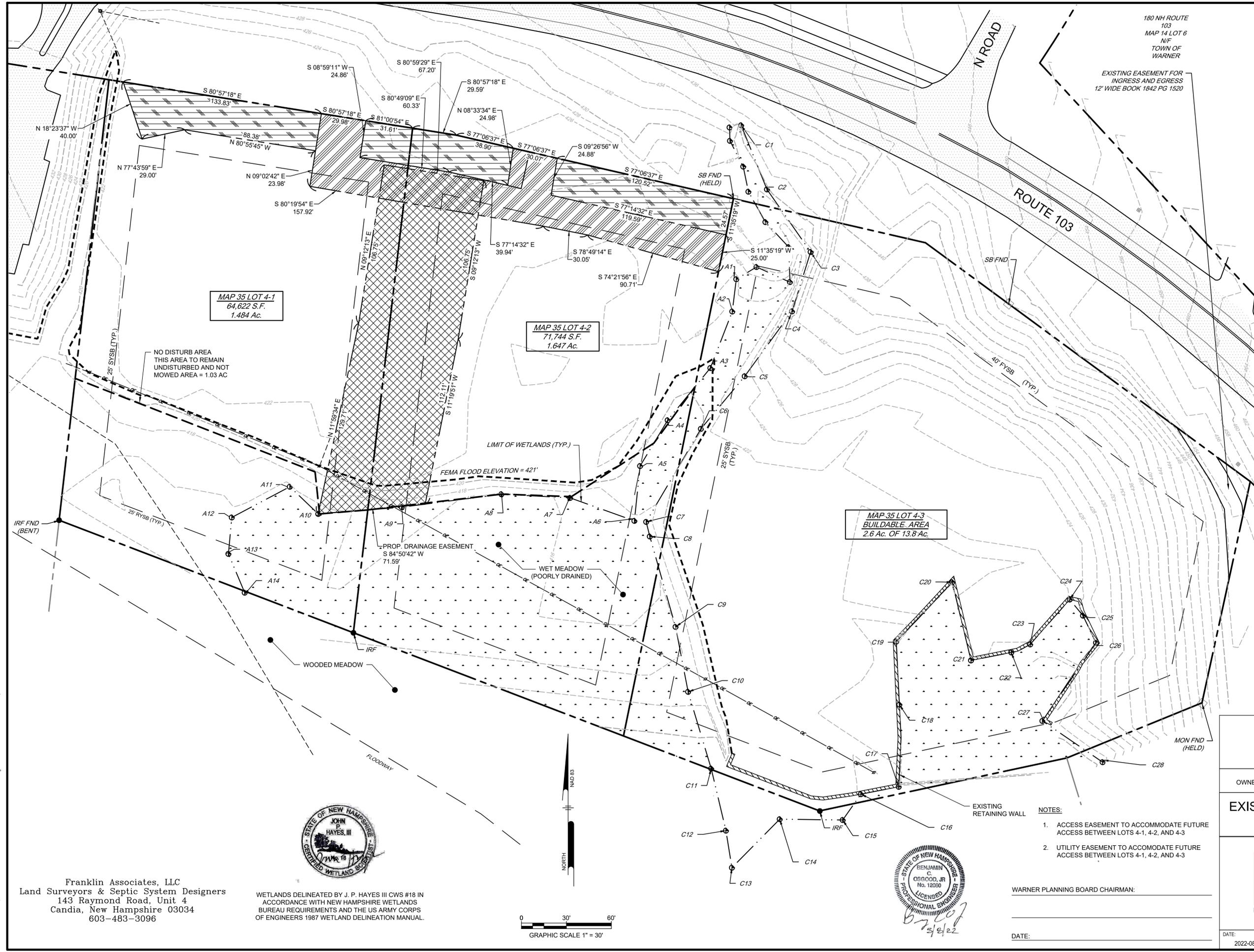
LEGEND: EXISTING

-  WETLANDS
-  PROPERTY LINE
-  RIGHT-OF-WAY LINE
-  ADJACENT PROPERTY LINE
-  SETBACK LINE
-  EASEMENT LINE
-  WETLANDS LINE
-  WOOD FENCE
-  WATER LINE DOMESTIC
-  STORM SEWER
-  OVERHEAD ELECTRIC
-  UNDERGROUND GAS
-  UTILITY POLE
-  SANITARY MANHOLE
-  STORM DRAIN MANHOLE
-  STORM DRAIN INLET
-  FIRE HYDRANT
-  WATER VALVE
-  TREE LINE
-  RETAINING WALL
-  CONCRETE HEADWALL
-  STONE BOUND
-  IRON ROD
-  TEST PIT
-  TRAVERSE POINT

PROPOSED EASEMENTS

-  ACCESS & UTILITY EASEMENT
9275 SF
-  UTILITY EASEMENT
8857 SF
-  DRAINAGE EASEMENT
16471 SF

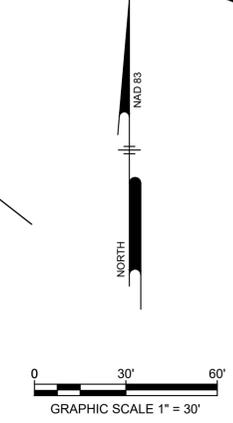
DATE	NO.	REVISIONS	BY



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Franklin Associates, LLC
 Land Surveyors & Septic System Designers
 143 Raymond Road, Unit 4
 Candia, New Hampshire 03034
 603-483-3096

WETLANDS DELINEATED BY J. P. HAYES III CWS #18 IN
 ACCORDANCE WITH NEW HAMPSHIRE WETLANDS
 BUREAU REQUIREMENTS AND THE US ARMY CORPS
 OF ENGINEERS 1987 WETLAND DELINEATION MANUAL.



NOTES:
 1. ACCESS EASEMENT TO ACCOMMODATE FUTURE ACCESS BETWEEN LOTS 4-1, 4-2, AND 4-3
 2. UTILITY EASEMENT TO ACCOMMODATE FUTURE ACCESS BETWEEN LOTS 4-1, 4-2, AND 4-3
 WARNER PLANNING BOARD CHAIRMAN:
 DATE:

SITE PLAN
 LOT 3 - ROUTE 103 WEST, WARNER NH,
 ASSESSOR'S MAP 35 LOTS 4-3

OWNER: COMET, LLC
 84 RANGE ROAD, WINDHAM, NH 03087

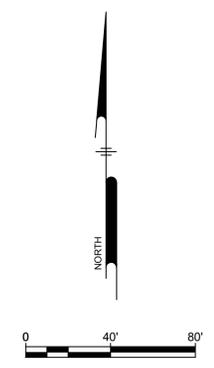
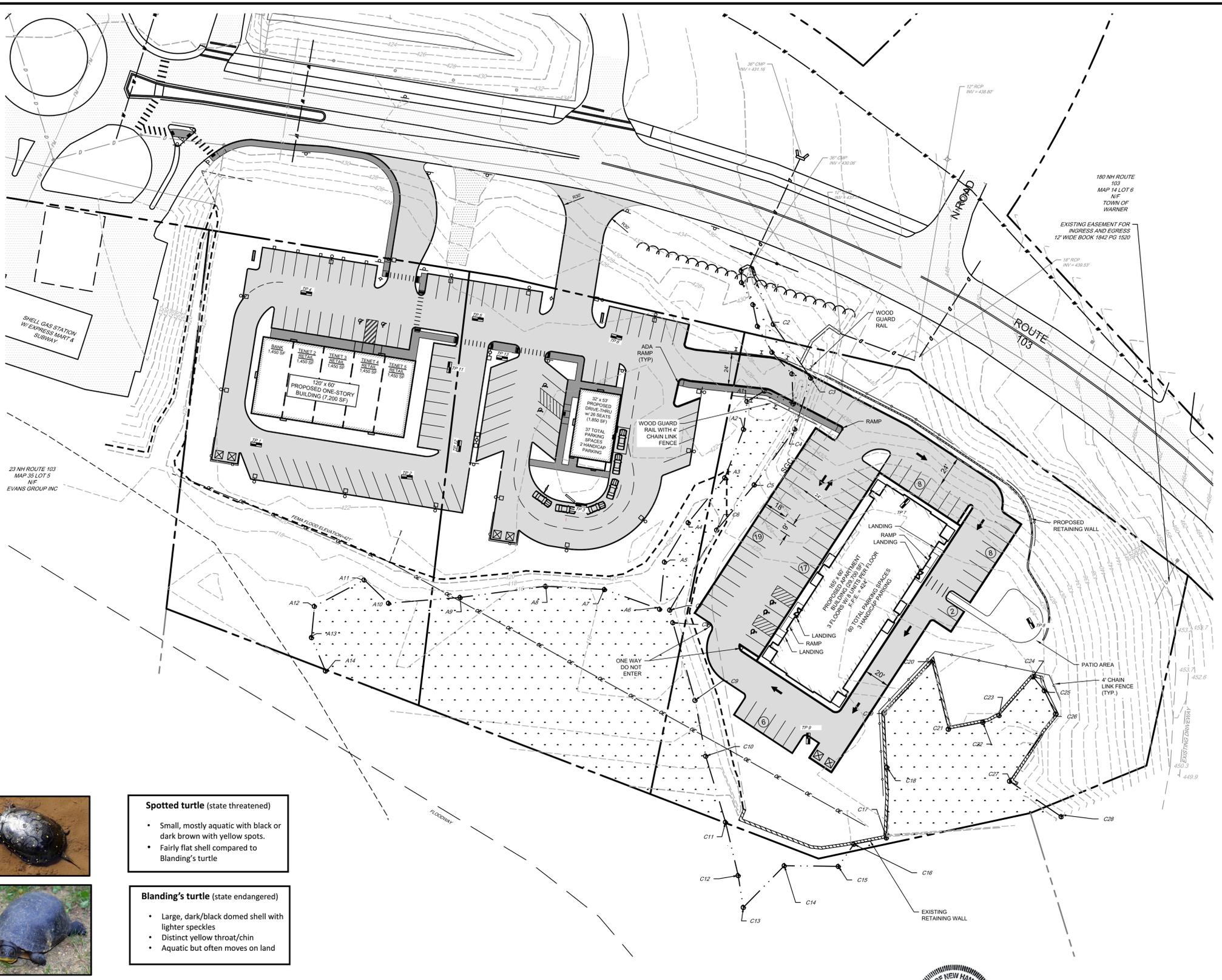
EXISTING CONDITIONS PLAN - SITE VIEW
 CS0202

Ranger Engineering Group, Inc.
 13 Red Roof Lane, Suite 203
 Salem NH, 03079
 Tel: 978-208-1762
 rangereng.com

DATE: 2022-08-08	SCALE: 1" = 30'	SHEET 4 OF 20
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PARKING CALCULATION:
 PER SECTION XIX.B TABLE OF OFF-STREET PARKING REQUIREMENT OF THE SITE PLAN REVIEW REGULATIONS OF THE TOWN OF WARNER:
 PARKING REQUIRED (MULTI UNIT HOUSING): _____ LOT 3
 2.5 SPACES PER UNIT = 60 SPACES REQUIRED FOR 24 UNITS
 TOTAL REQUIRED = 60 SPACES
 TOTAL PROVIDED = 60 SPACES

ZONING REQUIREMENTS: C1-COMMERCIAL DISTRICT INTERVALE OVERLAY DISTRICT		
	REQUIRED	PROVIDED LOT 3
MIN. LOT AREA	40,000 SF	113,256 SF
MIN. LOT FRONT	200'	400'
FRONT SETBACK	40'	40'
SIDE SETBACK	25'	25'
MAX IMPERVIOUS AREA	70%	36%



DATE	NO.	REVISIONS	BY



- Spotted turtle** (state threatened)
- Small, mostly aquatic with black or dark brown with yellow spots.
 - Fairly flat shell compared to Blanding's turtle
- Blanding's turtle** (state endangered)
- Large, dark/black domed shell with lighter speckles
 - Distinct yellow throat/chin
 - Aquatic but often moves on land
- Wood turtle** (special concern)
- Sculpted, pyramidal brownish shell
 - Orange around neck and limbs
 - River/stream turtle spending many months on land

IF SPOTTED OR BLANDING'S OR WOOD TURTLES ARE SPOTTED, ESPECIALLY DURING NESTING SEASON, PLEASE CONTACT MELISSA DOPERALSKI (603-479-1129 cell) or JOSH MEGYESY (cell 978-578-0802 or 271-1125 office) FOR FURTHER INSTRUCTIONS



WARNER PLANNING BOARD CHAIRMAN: _____
 DATE: _____

SITE PLAN
 LOT 3 - ROUTE 103 WEST, WARNER NH,
 ASSESSOR'S MAP 35 LOTS 4-3

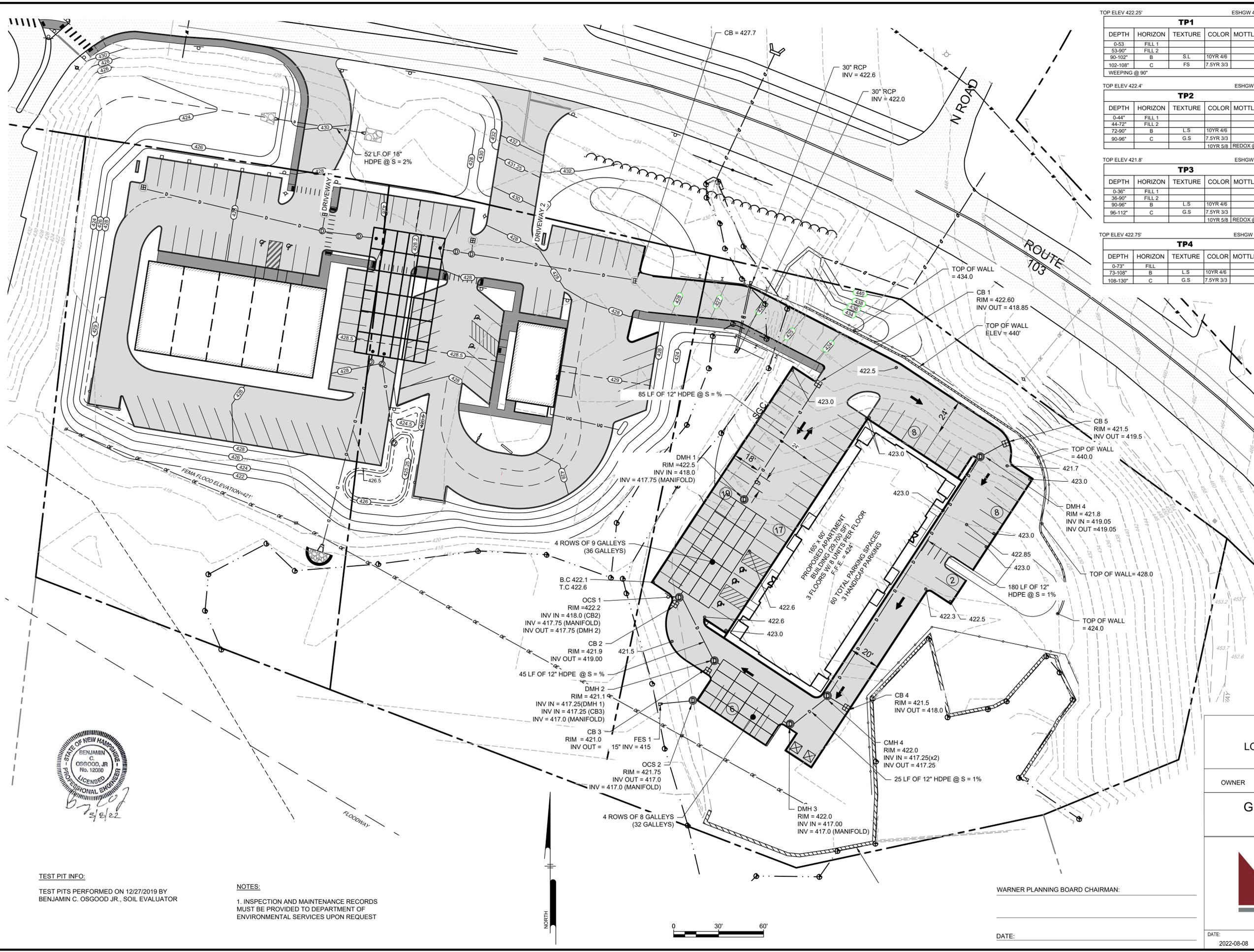
OWNER: COMET, LLC
 84 RANGE ROAD, WINDHAM, NH 03087

LAYOUT AND MATERIALS PLAN
 CS1001

Ranger Engineering Group, Inc.
 13 Red Roof Lane, Suite 203
 Salem NH, 03079
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DATE: 2022-08-08 SCALE: 1" = 40' SHEET 5 OF 20

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TOP ELEV 422.25' ESHGW 414.75'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-53	FILL 1			
53-90"	FILL 2			
90-102"	B	S.L	10YR 4/6	
102-108"	C	FS	7.5YR 3/3	

WEEPING @ 90"

TOP ELEV 422.4' ESHGW 416.4'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-44"	FILL 1			
44-72"	FILL 2			
72-90"	B	L.S	10YR 4/6	
90-96"	C	G.S	7.5YR 3/3	

REDOX @ 72"

TOP ELEV 421.8' ESHGW 414.3'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-36"	FILL 1			
36-90"	FILL 2			
90-96"	B	L.S	10YR 4/6	
96-112"	C	G.S	7.5YR 3/3	

REDOX @ 90"

TOP ELEV 422.75' ESHGW 415.9'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-73"	FILL			
73-108"	B	L.S	10YR 4/6	
108-130"	C	G.S	7.5YR 3/3	

TOP ELEV 422.8' ESHGW 416.55'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-75"	FILL			
75-96"	C	G.S	7.5YR 3/3	

ESHGW @ 75"

TOP ELEV 423.25' ESHGW N/A

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-60"	FILL			
60-120"	FILL 2	SILTY CLAY LOAM W/ HIGH ORGANIC CONTENT		
120-123"	C	G.S	7.5YR 3/3	

TOP ELEV 425.0' ESHGW 420.67'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-24"	FILL 1			
24-60"	A	L.S	10YR 3/2	
60-84"	BS	F.S	10YR 4/6	
84-96"	C	G.S	7.5YR 3/3	

WEEPING @ 60" REDOX @ 52"

TOP ELEV 423.75' ESHGW 421.08'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-32"	A/B MIX			
32-55"	CD	SIL	5Y	

TOP ELEV 421.65' ESHGW 414.57'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-32"	FILL			
32-57"	A/B MIX			
57-85"	C	G.S	7.5YR 3/3	

TOP ELEV 422.5' ESHGW 415.0'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-2"	O			
2-38"	FILL 1			
38-42"	FILL 2			
42-44"	OLD PVMT			
44-60"	FILL 3	GRAVELY SAND		
60-72"	FILL 4	MED. SAND		
72-90"	OLD A/B			
90-120"	C	COURSE SAND	2.5Y 4/4	

PONDING @ 90"

TOP ELEV 422.5' ESHGW 414.5'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-30"	FILL 1			
30-80"	FILL 2			
80-96"	OLD A/B			
96-120"	C	G.S	10YR 2/2	

TOP ELEV 423.00' ESHGW 415.50

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-84"	FILL			
84-90"	OLD A			
90-120"	C	COURSE SAND	2.5Y 4/4	

IN-SITU CONDUCTIVITY TEST DONE @ 90"

DATE	NO.	REVISIONS	BY

SITE PLAN
LOT 3 - ROUTE 103 WEST, WARNER NH,
 ASSESSOR'S MAP 35 LOTS 4-3

OWNER: COMET, LLC
 84 RANGE ROAD, WINDHAM, NH 03087

GRADING AND DRAINAGE PLAN
CS1501

Ranger Engineering Group, Inc.
 13 Red Roof Lane, Suite 203
 Salem NH, 03079
 Tel: 978-208-1762
 rangereng.com



TEST PIT INFO:
 TEST PITS PERFORMED ON 12/27/2019 BY
 BENJAMIN C. OSGOOD JR., SOIL EVALUATOR

NOTES:
 1. INSPECTION AND MAINTENANCE RECORDS
 MUST BE PROVIDED TO DEPARTMENT OF
 ENVIRONMENTAL SERVICES UPON REQUEST

WARNER PLANNING BOARD CHAIRMAN:

DATE:

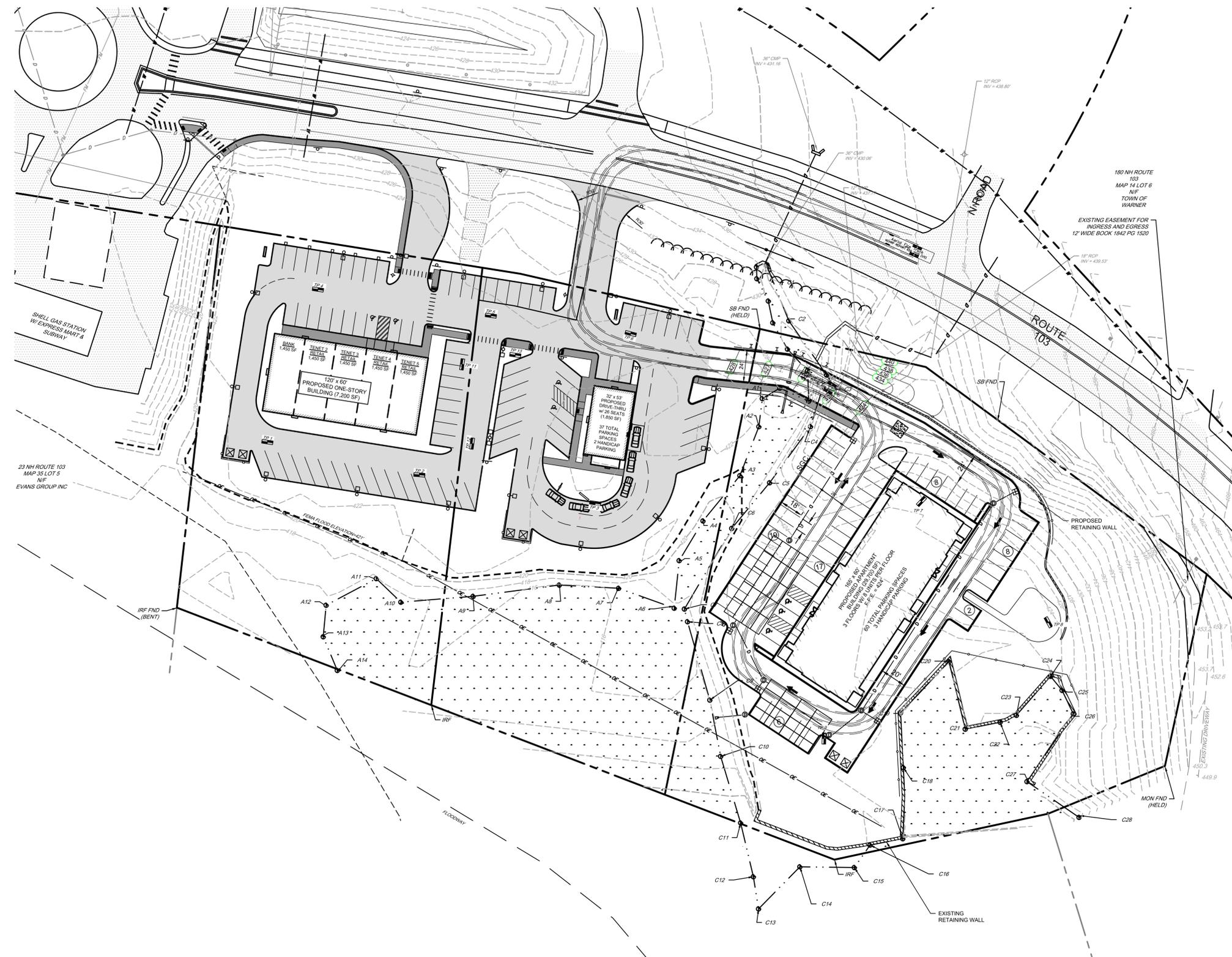
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SCALE: 1" = 30'

SHEET 6 OF 20

PROJECT STATUS: --- PLOTTED: 8/30/2022 12:21 PM BY: CJP/PC
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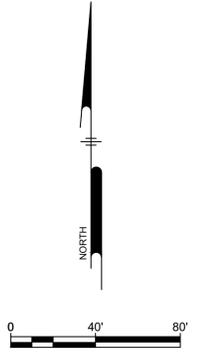


SHELL GAS STATION
W/ EXPRESS MART &
SUBWAY

23 NH ROUTE 103
MAP 35 LOT 5
NF
EVANS GROUP INC

180 NH ROUTE
103
MAP 14 LOT 6
NF
TOWN OF
WARNER

EXISTING EASEMENT FOR
INGRESS AND EGRESS
12' WIDE BOOK 1842 PG 1520



DATE	NO.	REVISIONS	BY

SITE PLAN
 LOT 3 - ROUTE 103 WEST, WARNER NH,
 ASSESSOR'S MAP 35 LOTS 4-3

OWNER: COMET, LLC
 84 RANGE ROAD, WINDHAM, NH 03087

**VEHICLE TURNING PLAN - LADDER TRUCK
 CS2701**

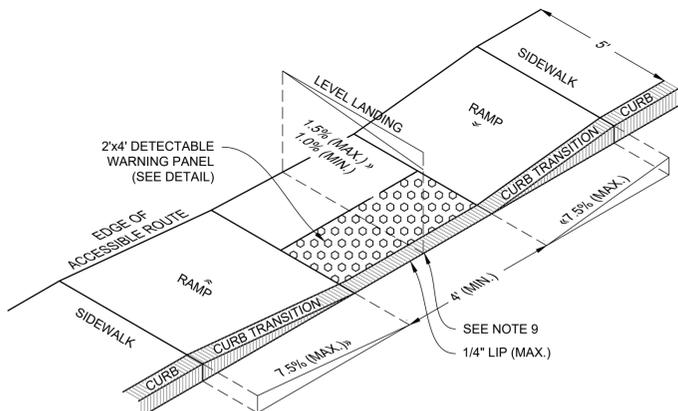
Ranger Engineering Group, Inc.
 13 Red Roof Lane, Suite 203
 Salem NH, 03079
 Tel: 978-208-1762
 rangereng.com

WARNER PLANNING BOARD CHAIRMAN: _____

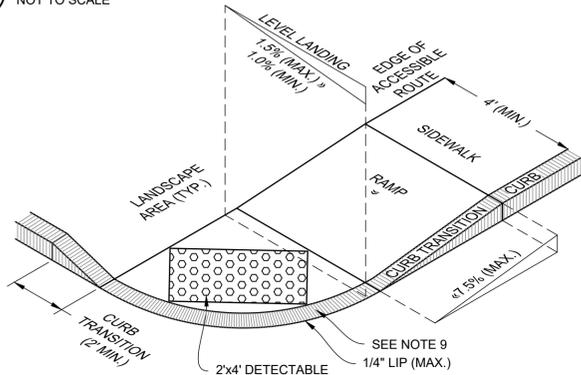
DATE: _____

DATE: 2022-08-08	SCALE: 1" = 40'	SHEET 8 OF 20
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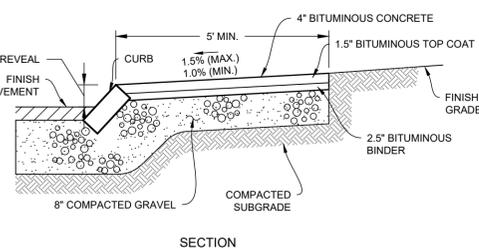
1 ACCESSIBLE CURB RAMP (ACR) - TYPE 'A' W/ DETECTABLE WARNING PANEL
NOT TO SCALE



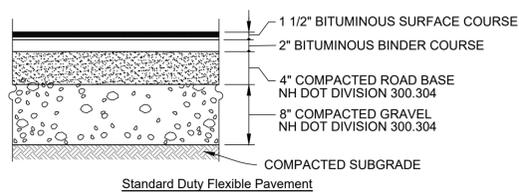
2 ACCESSIBLE CURB RAMP (ACR) W/ DETECTABLE WARNING PANEL
NOT TO SCALE

ACCESSIBLE CURB RAMP NOTES:

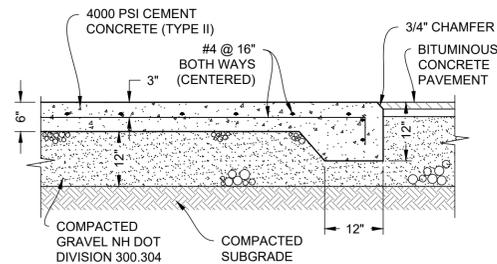
1. THE MAXIMUM ALLOWABLE SIDEWALK AND RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
5. CURB TREATMENT VARIES, SEE PLAN FOR CURB TYPE.
6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'x5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.



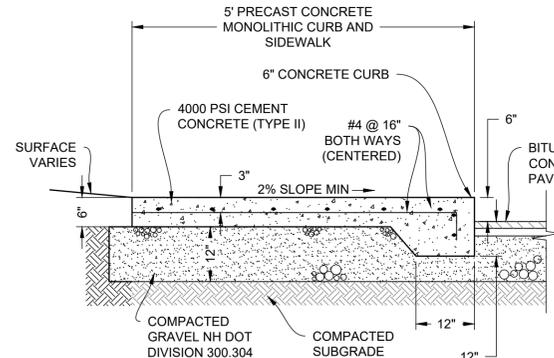
3 BIT. CONC. PAV. SECTION - PARKING LOT
NOT TO SCALE



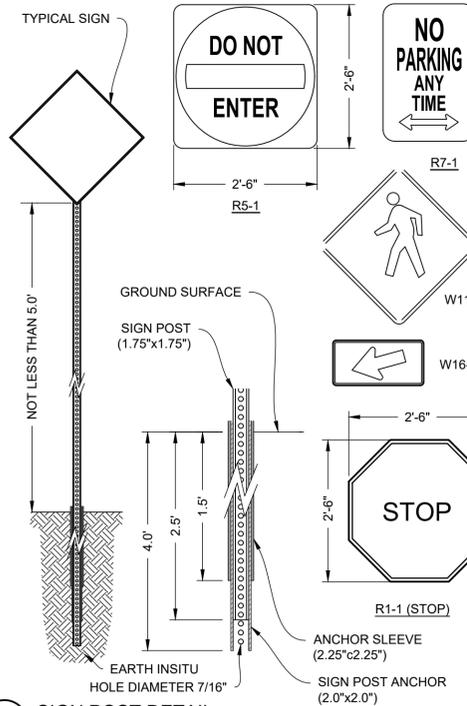
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NOT TO SCALE



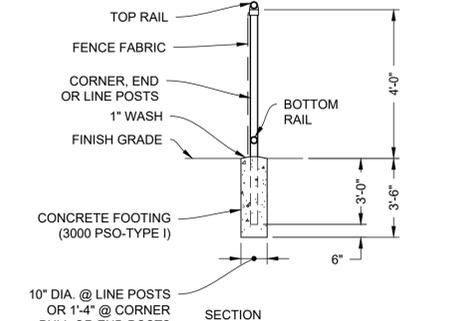
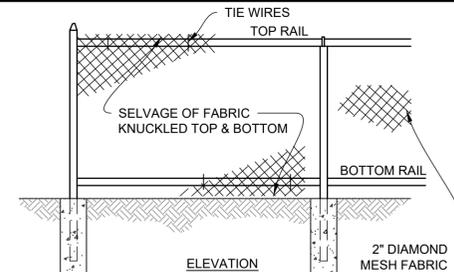
7 TYPICAL CONCRETE PAD SECTION
NOT TO SCALE



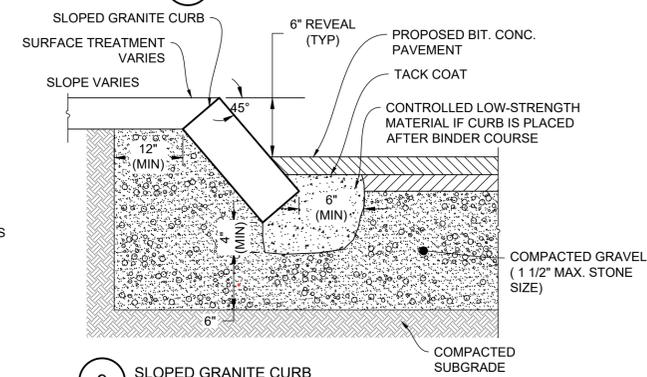
8 TYPICAL PRECAST CONCRETE SIDEWALK AND CURB SECTION
NOT TO SCALE



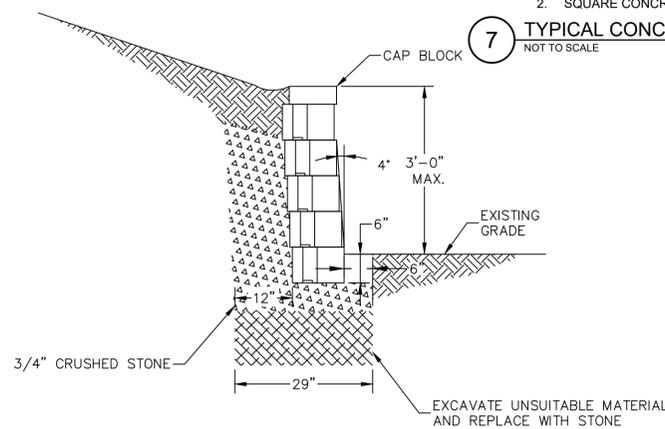
5 SIGN POST DETAIL
NOT TO SCALE



6 CHAIN LINK FENCE UP TO 6'
NOT TO SCALE



9 SLOPED GRANITE CURB
NOT TO SCALE



RETAINING WALL NOTES:

1. CONCRETE UNITS TO BE VERTICAL BLOCKS AS MANUFACTURED BY ANCHOR WALL SYSTEMS OR APPROVED EQUAL.
2. WALL HEIGHT GREATER THAN 3 FEET WILL REQUIRE THE USE OF GEOSYNTHETIC REINFORCEMENT. CONSULT MANUFACTURER FOR PLACEMENT REQUIREMENTS.

10 SEGMENTAL BLOCK RETAINING WALL
NOT TO SCALE



WARNER PLANNING BOARD CHAIRMAN:

DATE:

DATE	NO.	REVISIONS	BY

SITE PLAN
LOT 3 - ROUTE 103 WEST, WARNER NH,
ASSESSOR'S MAP 35 LOTS 4-3

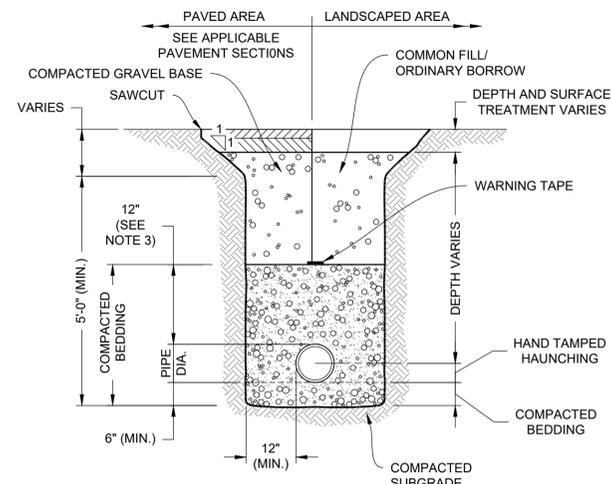
OWNER: COMET, LLC
84 RANGE ROAD, WINDHAM, NH 03087

SITE DETAILS
CS6001

Ranger Engineering Group, Inc.
13 Red Roof Lane, Suite 203
Salem NH, 03079
Tel: 978-208-1762
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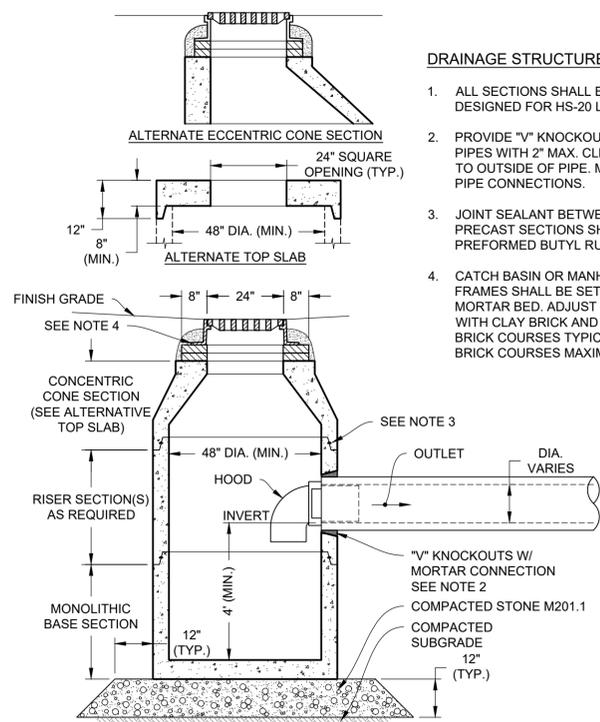
DATE: 2022-08-08 SCALE: SHEET 9 OF 20

PROJECT STATUS: ---
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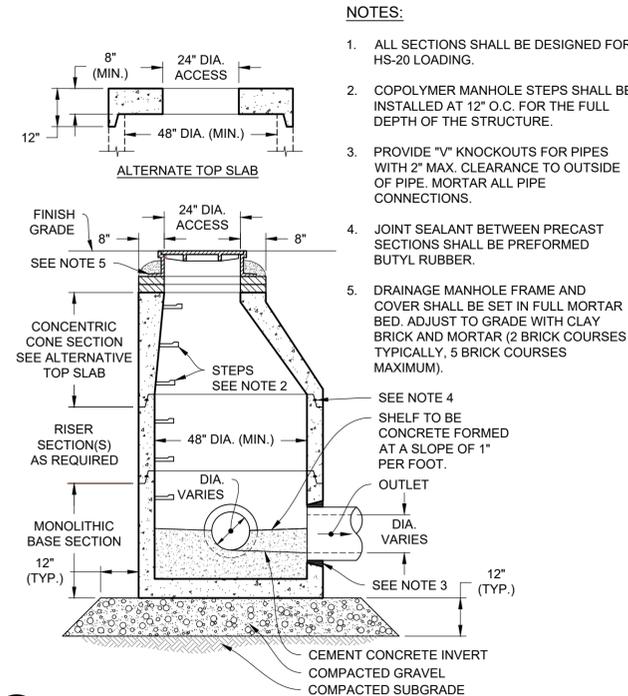
- NOTES:**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
 - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
 - FOR HDPE PIPE, DIMENSION IS 24 INCHES.

1 DRAINAGE TRENCH
NOT TO SCALE



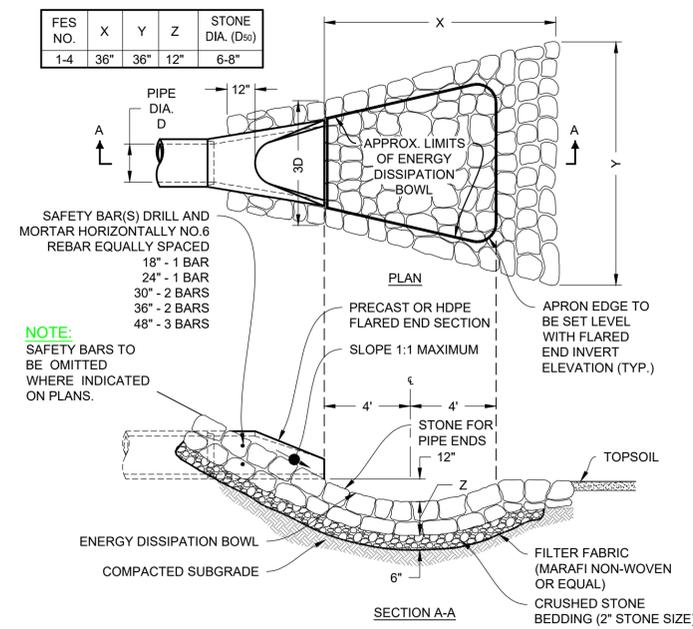
- DRAINAGE STRUCTURE NOTES:**
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 - CATCH BASIN OR MANHOLE FRAMES SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

2 CATCH BASIN (CB) WITH HOOD
NOT TO SCALE



- NOTES:**
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 - DRAINAGE MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

3 DRAINAGE MANHOLE (DMH)
NOT TO SCALE



4 FLARED END SECTION (FES) WITH STONE PROTECTION
NOT TO SCALE

Table 4-3. Filter Mixtures			
Component Material	Percent of Mixture by Volume	Gradation of Material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Filter Media Option B			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
	70 to 80	10	85 to 100
Loamy coarse sand		20	70 to 100
		60	15 to 40
		200	8 to 15

DATE	NO.	REVISIONS	BY

SITE PLAN
LOT 3 - ROUTE 103 WEST, WARNER NH,
ASSESSOR'S MAP 35 LOTS 4-3

OWNER: COMET, LLC
84 RANGE ROAD, WINDHAM, NH 03087

DRAINAGE DETAILS
CS6021

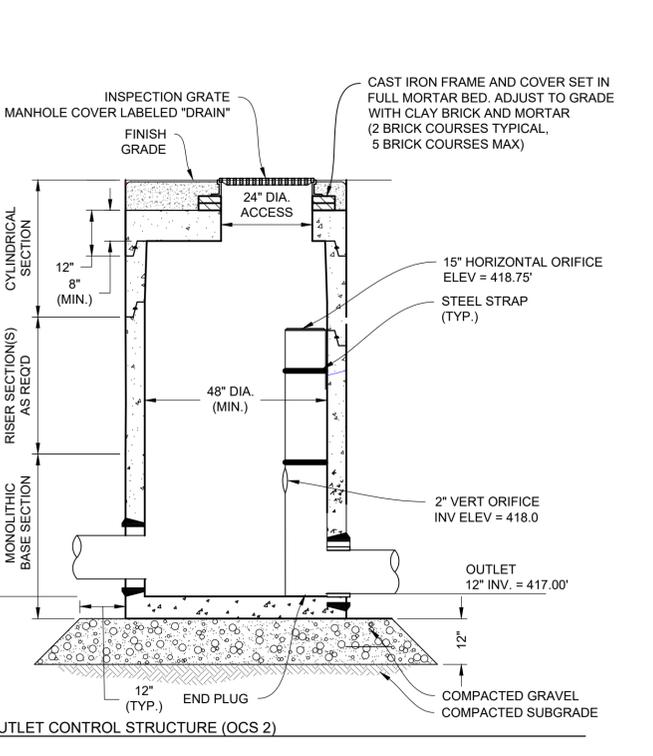
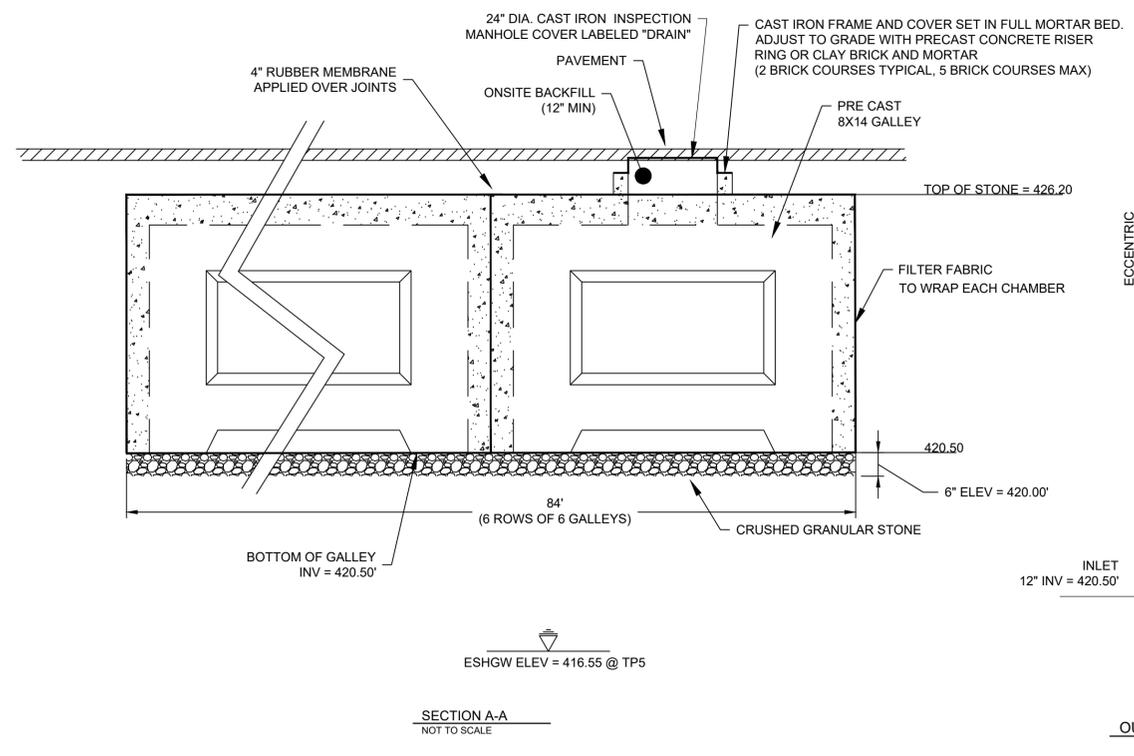
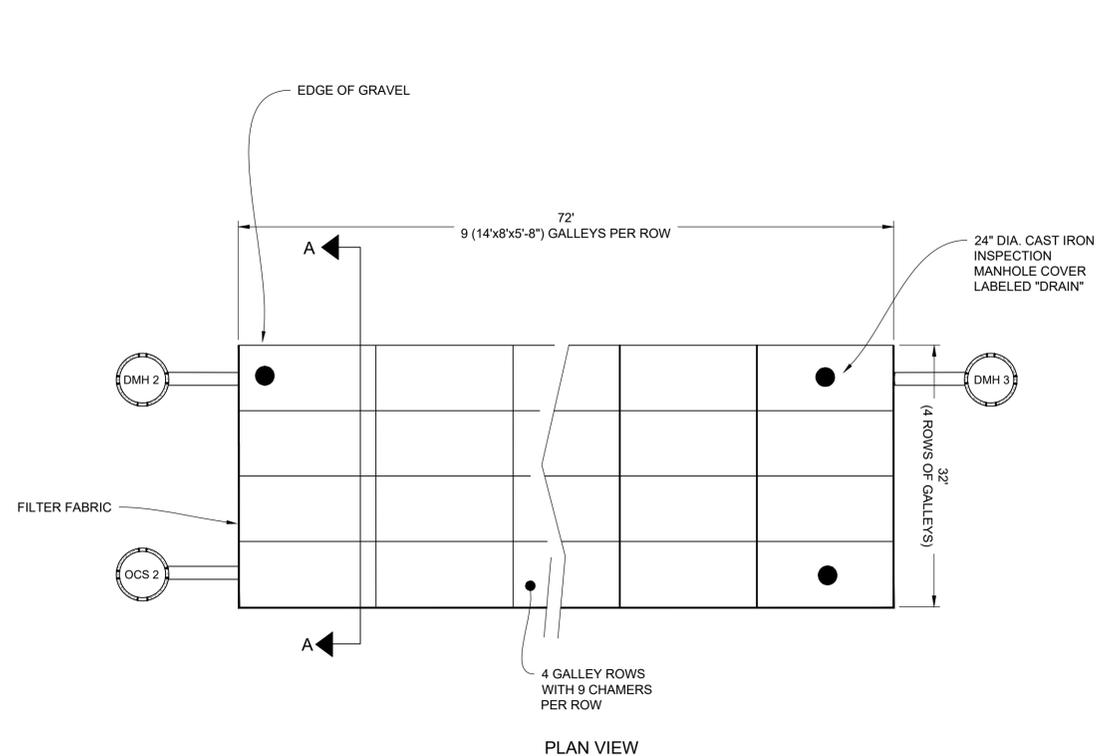
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13 Red Roof Lane, Suite 203
Salem NH, 03079
Tel: 978-208-1762
rangereng.com



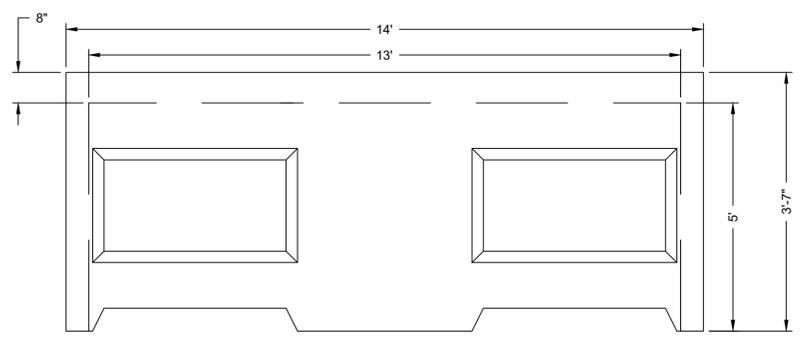
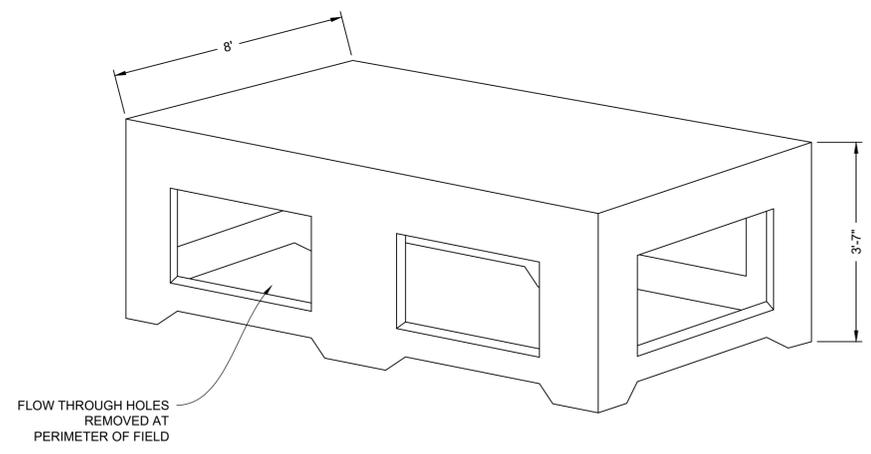
WARNER PLANNING BOARD CHAIRMAN:

DATE:

PROJECT STATUS: — PLOTTED: 8/30/2022 12:22 PM BY: Cef PC 2:\K\PROJECTS\COMET - QUINN\22-271 LOT 3 WARNER NH\DESIGN\PLANS\SET\CS6021.dwg



1 UNDERGROUND GALLEY STORMWATER STORAGE SYSTEM
NOT TO SCALE



DATE	NO.	REVISIONS	BY

SITE PLAN
LOT 3 - ROUTE 103 WEST, WARNER NH,
 ASSESSOR'S MAP 35 LOTS 4-3

OWNER: COMET, LLC
 84 RANGE ROAD, WINDHAM, NH 03087

STORMWATER STORAGE SYSTEM DETAILS
CS6022

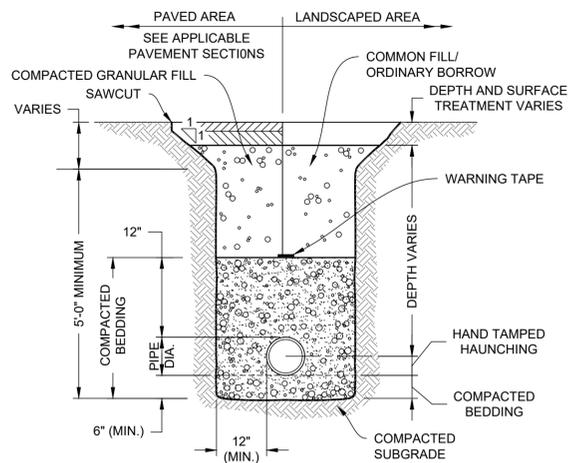
Ranger Engineering Group, Inc.
 13 Red Roof Lane, Suite 203
 Salem NH, 03079
 Tel: 978-208-1762
 rangereng.com



WARNER PLANNING BOARD CHAIRMAN:

 DATE: _____

2:\K\PROJECTS\COMET - QUINN\22-271 LOT 3 WARNER NH\DESIGN\PLANS\SET\CS6022.dwg
 PLOTTED: 8/8/2022 12:23 PM BY: CJP
 PLOTSTYLE: ---
 PROJECT STATUS: ---



- NOTES:**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
 - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F	
6"	11 1/4"	8"	15"	12"	24"	12"	6"	45°	8"	30"	12"	24"
6"	22 1/2"	"	19"	"	13"	6"	90°	"	30"	"	"	27"
8"	11 1/4"	"	20"	"	12"	8"	45°	"	30"	"	"	24"
8"	22 1/2"	"	22"	"	17"	8"	90°	"	38"	"	"	36"
12"	11 1/4"	"	30"	"	15"	12"	45°	"	40"	"	"	40"
12"	22 1/2"	"	35"	"	25"	12"	90°	"	60"	"	"	52"

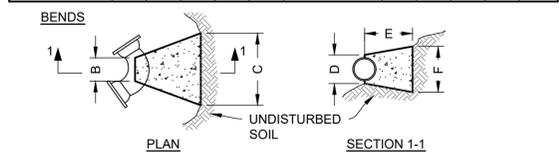
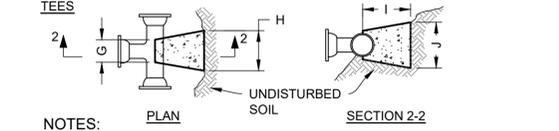
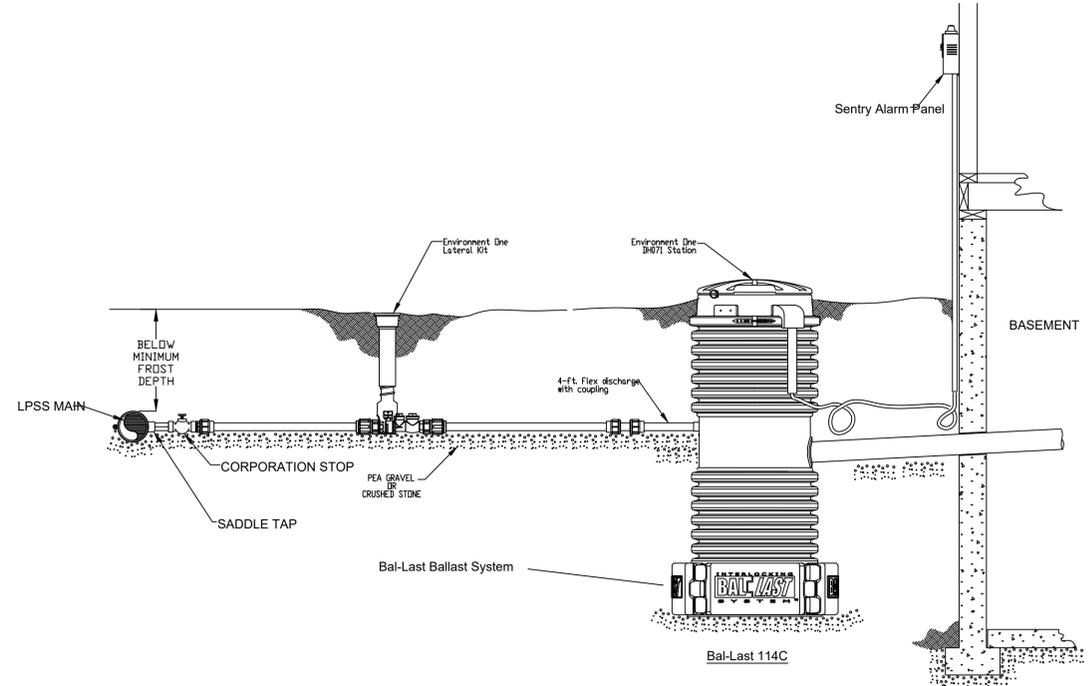


TABLE OF DIMENSIONS

TEES	G	H	I	J	TEES	G	H	I	J
6"x 6"x 6"	12"	24"	24"	18"	12"x 12"x 6"	12"	24"	24"	18"
8"x 8"x 6"	"	"	"	"	12"x 12"x 8"	"	"	"	24"
8"x 8"x 8"	"	"	"	24"	12"x 12"x 12"	"	36"	"	36"



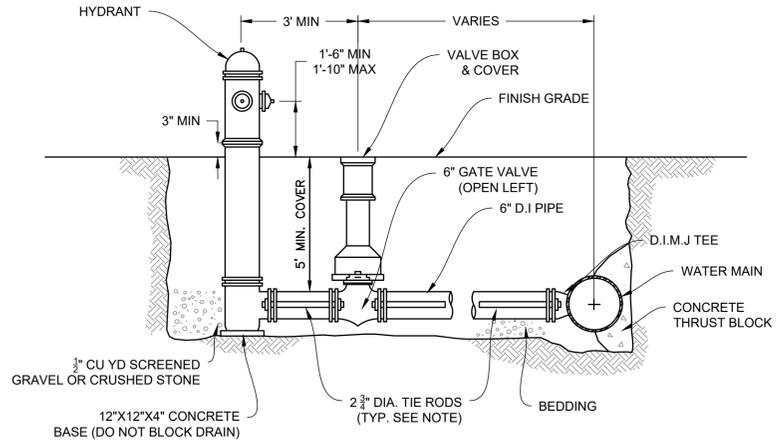
- NOTES:**
- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 - CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
 - CONCRETE SHALL BE 3000 PSI-TYPE I.



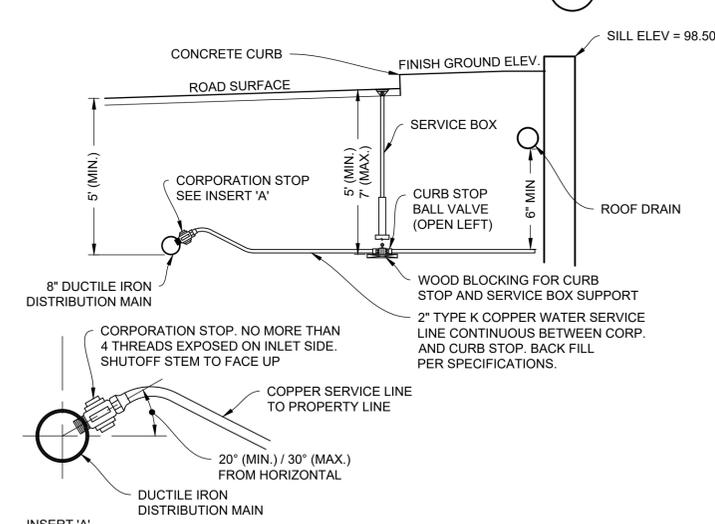
1 WATER TRENCH
NOT TO SCALE

2 CONCRETE THRUST BLOCK
NOT TO SCALE

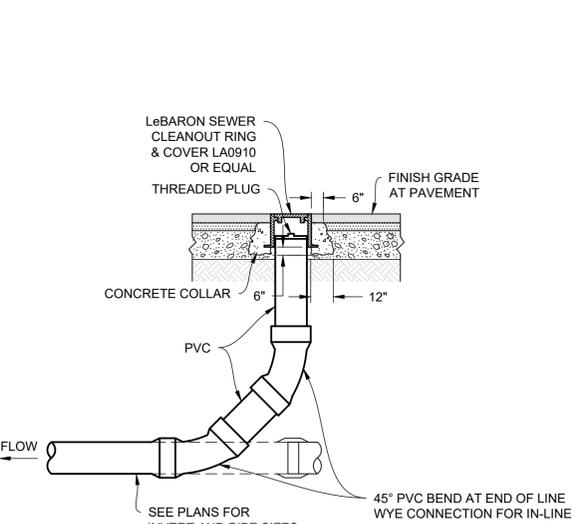
3 TYPICAL E/ONE PUMP AND BALLAST INSTALLATION
NOT TO SCALE



- NOTES:**
- CONTINUE TIE RODS TO MAIN OR AT LEAST 20' ALONG HYDRANT LATERAL.
 - HYDRANT AND VALVE TO OPEN LEFT

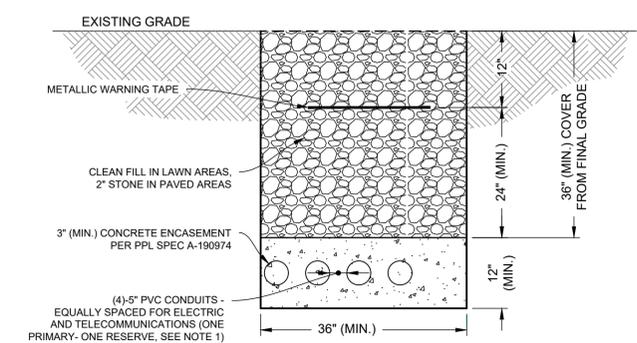


5 WATER SERVICE INSTALLATION
NOT TO SCALE



6 SEWER CLEANOUT - PAVED AREA
NOT TO SCALE

4 HYDRANT
NOT TO SCALE



- NOTE:**
- ADD ONE ADDITIONAL 5" CONDUIT WHERE FIRE ALARM (FA) IS DESIGNATED ON UTILITY PLANS.

7 ELECTRIC/ TELECOMMUNICATION DUCT BANK
NOT TO SCALE



DATE	NO.	REVISIONS	BY

SITE PLAN
LOT 3 - ROUTE 103 WEST, WARNER NH,
ASSESSOR'S MAP 35 LOTS 4-3

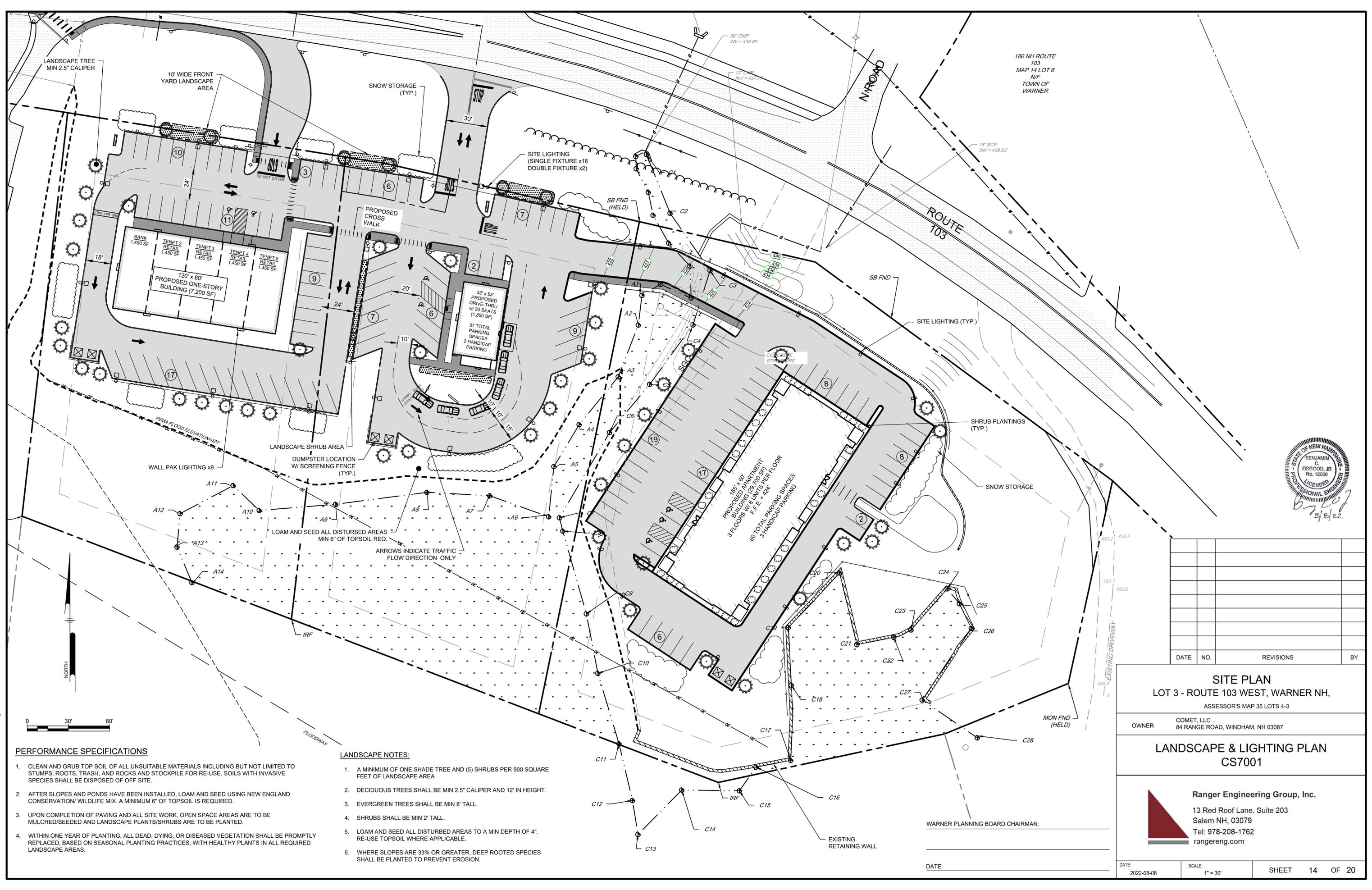
OWNER: COMET, LLC
84 RANGE ROAD, WINDHAM, NH 03087

UTILITY DETAILS
CS6051

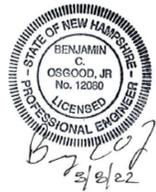
Ranger Engineering Group, Inc.
13 Red Roof Lane, Suite 203
Salem NH, 03079
Tel: 978-208-1762
rangereng.com

DATE: 2022-08-08 SCALE: SHEET 13 OF 20

PROJECT STATUS: — PLOTTED: 8/30/2022 11:56 AM BY: Cof PC PLOTSTYLE: TITENV.NCS.dwg 2:K:\PROJECTS\COMET - QUINN\22-271 LOT 3 WARNER NH\DESIGN\PLANS\SET\CS6051.dwg



180 NH ROUTE 103
MAP 14 LOT 6
N/F
TOWN OF WARNER



DATE	NO.	REVISIONS	BY

SITE PLAN
LOT 3 - ROUTE 103 WEST, WARNER NH,
ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC
84 RANGE ROAD, WINDHAM, NH 03087

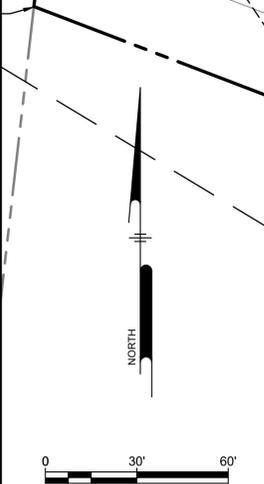
LANDSCAPE & LIGHTING PLAN
CS7001

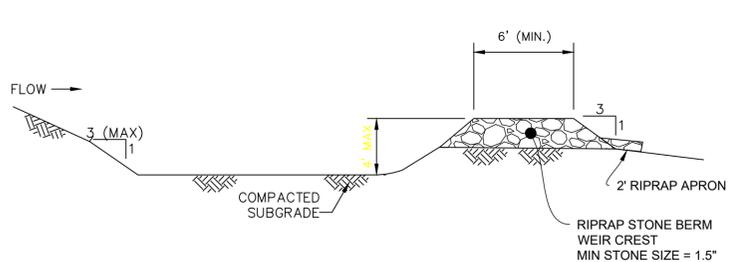
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13 Red Roof Lane, Suite 203
Salem NH, 03079
Tel: 978-208-1762
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

- PERFORMANCE SPECIFICATIONS**
- CLEAN AND GRUB TOP SOIL OF ALL UNSUITABLE MATERIALS INCLUDING BUT NOT LIMITED TO STUMPS, ROOTS, TRASH, AND ROCKS AND STOCKPILE FOR RE-USE. SOILS WITH INVASIVE SPECIES SHALL BE DISPOSED OF OFF SITE.
 - AFTER SLOPES AND PONDS HAVE BEEN INSTALLED, LOAM AND SEED USING NEW ENGLAND CONSERVATION/ WILDLIFE MIX. A MINIMUM 6" OF TOPSOIL IS REQUIRED.
 - UPON COMPLETION OF PAVING AND ALL SITE WORK, OPEN SPACE AREAS ARE TO BE MULCHED/SEEDED AND LANDSCAPE PLANTS/SHRUBS ARE TO BE PLANTED.
 - WITHIN ONE YEAR OF PLANTING, ALL DEAD, DYING, OR DISEASED VEGETATION SHALL BE PROMPTLY REPLACED, BASED ON SEASONAL PLANTING PRACTICES, WITH HEALTHY PLANTS IN ALL REQUIRED LANDSCAPE AREAS.

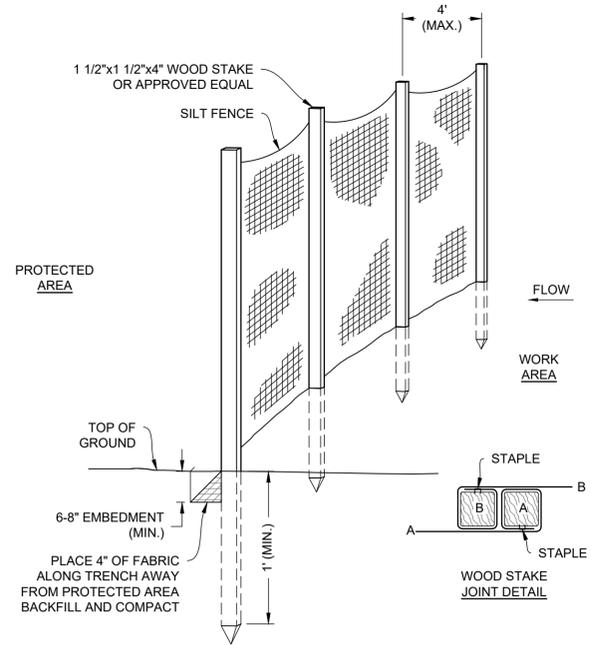
- LANDSCAPE NOTES:**
- A MINIMUM OF ONE SHADE TREE AND (5) SHRUBS PER 900 SQUARE FEET OF LANDSCAPE AREA
 - DECIDUOUS TREES SHALL BE MIN 2.5" CALIPER AND 12' IN HEIGHT.
 - EVERGREEN TREES SHALL BE MIN 8' TALL.
 - SHRUBS SHALL BE MIN 2' TALL.
 - LOAM AND SEED ALL DISTURBED AREAS TO A MIN DEPTH OF 4". RE-USE TOPSOIL WHERE APPLICABLE.
 - WHERE SLOPES ARE 33% OR GREATER, DEEP ROOTED SPECIES SHALL BE PLANTED TO PREVENT EROSION.



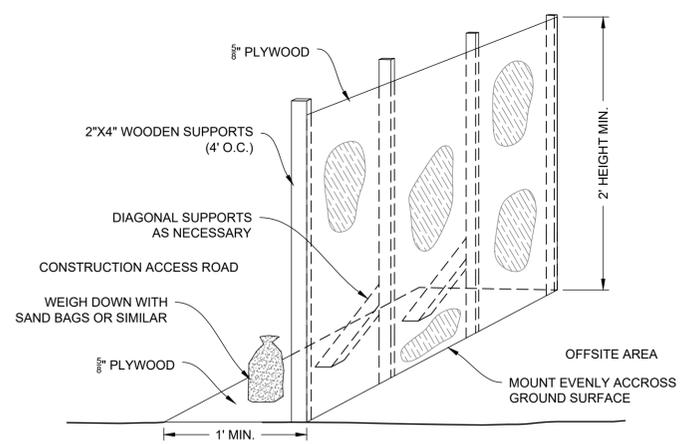


- NOTES:**
1. SEDIMENT TRAPS SHOULD BE INSPECTED WEEKLY AND AFTER EVERY RAINSTORM. REPAIR DAMAGED SECTIONS AS REQUIRED.
 2. REMOVE SEDIMENT WHEN ACCUMULATION HAS REACHED 50% CAPACITY OF THE SEDIMENT TRAP.

1 TEMPORARY SEDIMENT TRAP
NOT TO SCALE

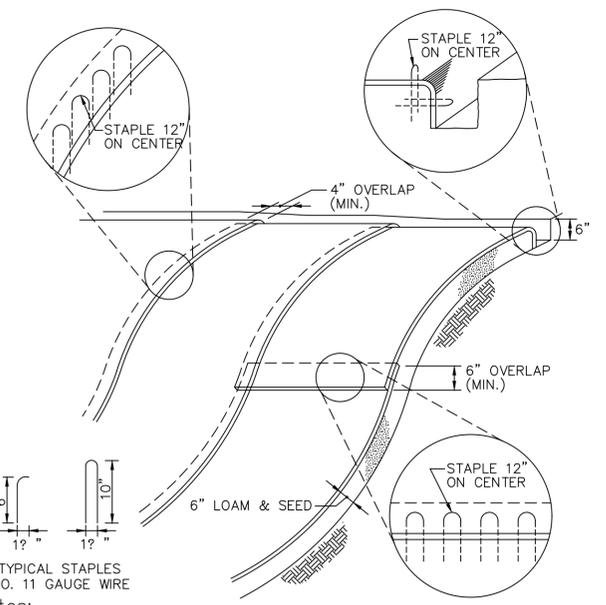


2 TURTLE PROTECTION FENCE
NOT TO SCALE



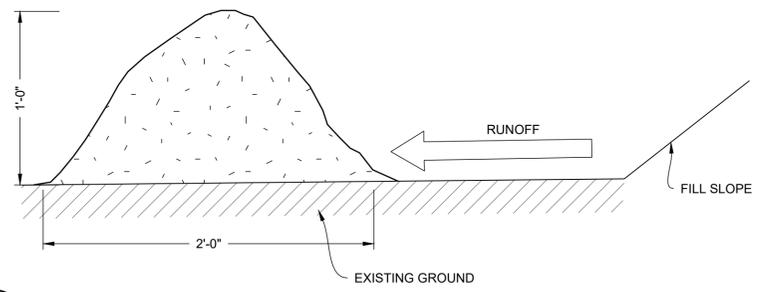
- NOTE:**
1. THE PLYWOOD BARRIER SHALL REMAIN IN PLACE ANY TIME THE ENTRANCE IS NOT ACTIVELY IN USE, EVEN DURING THE WORK DAY.
 2. EACH SECTION OF PLYWOOD BARRIER SHALL OVERLAP THE ADJACENT SECTION TO ENSURE THAT ALL OPENINGS ARE BLOCKED COMPLETELY.

3 TURTLE PROTECTION GATE
NOT TO SCALE



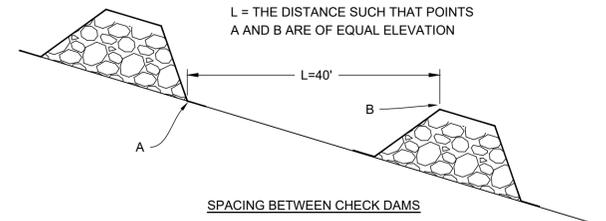
- Notes:**
1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING.
 2. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
 3. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
 4. EROSION CONTROL BLANKET SHALL NOT CONTAIN PLASTIC MESH. NATURAL FIBER BIODEGRADABLE MESH SHALL BE USED.
 5. HYDRO SEEDING MULCH SHALL BE USED ON ALL DISTURBED AREAS UPON COMPLETION OF ROUGH OR FINAL GRADING ACTIVITIES. GRADING WILL BE CONSIDERED COMPLETE WHEN THE AREA WILL REMAIN UNDISTURBED FOR 30 OR MORE DAYS.
 6. EROSION CONTROL BLANKET WILL BE USED TO COVER PROBLEM AREAS WHERE STABILIZATION IS NOT ACHIEVED WITH HYDRO SEED MULCH AND IN THE BOTTOM OF STORMWATER CHANNELS. THE BOTTOM AND SIDE SLOPES WILL BE MULCHED BEFORE THE BLANKET IS APPLIED.

4 EROSION CONTROL BLANKET
NOT TO SCALE



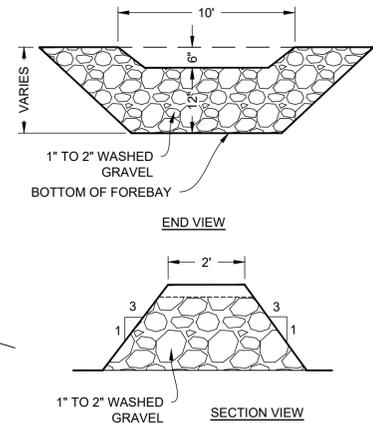
- NOTES:**
1. BERMS SHALL BE USED ONLY WHERE SHEET FLOW OCCURS AND WHERE THE UPSTREAM SLOPE IS LESS THAN 5%.
 2. EROSION CONTROL MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 25% AND 65% DRY WEIGHT BASIS THAT IS "A" FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT PRODUCT AND "B" NOT COMPRISED OF WOOD CHIPS, BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS. IT SHALL NOT CONTAIN SILTS, CLAYS, OR FINE SANDS.
 3. MIX SHALL HAVE A PARTICLE SIZE OF 100% PASSING A 3" SCREEN, 90% TO 100% PASSING A 1" SCREEN, 70%-100% PASSING A 0.75" SCREEN, AND 30% PASSING A 0.25" SCREEN.
 4. MIX MUST HAVE A pH BETWEEN 5.0 AND 8.0

5 EROSION CONTROL MIX BERM
NOT TO SCALE



MULCH BERMS SHALL BE USED ONLY WHERE SHEET FLOW OCCURS AND WHERE THE UPSTREAM SLOPE IS LESS THAN 5%. BERM MUST BE AT LEAST 12" HIGH AND 2 FEET WIDE.

6 TEMPORARY CHECK DAM DETAIL
NOT TO SCALE



DATE	NO.	REVISIONS	BY

SITE PLAN
LOT 3 - ROUTE 103 WEST, WARNER NH,
ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC
84 RANGE ROAD, WINDHAM, NH 03087

EROSION CONTROL NOTES AND DETAILS
CS8502

Ranger Engineering Group, Inc.
13 Red Roof Lane, Suite 203
Salem NH, 03079
Tel: 978-208-1762
rangereng.com



WARNER PLANNING BOARD CHAIRMAN:

DATE: _____

PROJECT STATUS: PLOTTED: 8/8/2022 11:57 AM BY: Cof PC PLOTSTYLE: TITL.DWG, NCS.dwg 2:\K\PROJECTS\COMET - QUINN\22-071 LOT 3 WARNER NH\DESIGN\PUBLISHED\PLANSET\CS8502.dwg

