



TOWN OF WARNER PLANNING BOARD

P.O. Box 265

Warner, New Hampshire 03278-0059

Telephone: (603) 456-2298, ext. 7

Fax: (603) 456-2297

APPLICATION FOR SUBDIVISION

Please note that this application is subject to NH RSA 91-A which affords the public access to this information.

MAJOR SUBDIVISION (4+ LOTS) \_\_\_\_\_ MINOR SUBDIVISION (2-3 LOTS) [X] CONDO SUBDIVISION \_\_\_\_\_

ACTION NEEDED FROM THE ZONING BOARD OF ADJUSTMENT? YES \_\_\_\_\_ NO [X]

WRITTEN WAIVER REQUEST TO SPECIFIC PROVISIONS INCLUDED? YES \_\_\_\_\_ NO [X]

TODAY'S DATE: \_\_\_\_\_

NAME OF APPLICANT MATTHEW + MICHELE COURSER

ADDRESS 43 BEAN ROAD, WARNER

PHONE # 1 \_\_\_\_\_ PHONE # 2 \_\_\_\_\_ E-MAIL \_\_\_\_\_

OWNER(S) OF PROPERTY SAME

ADDRESS \_\_\_\_\_

PHONE # 1 603- \_\_\_\_\_ PHONE # 2 \_\_\_\_\_ E-MAIL mattcourser68@gmail.com

AGENT NAME JEFFREY A. EVANS

ADDRESS PO BOX 472, SOUTH SUTTON, NH 03273

PHONE # 1 603-927-4696 PHONE # 2 \_\_\_\_\_ E-MAIL jeffevans.hornithollow@gmail.com

LICENSED LAND SURVEYOR: JEFFREY A. EVANS

LICENSED PROFESSIONAL ENGINEER: \_\_\_\_\_

CERTIFIED SOIL SCIENTIST: \_\_\_\_\_

CERTIFIED WETLAND SCIENTIST: JEFFREY A. EVANS

OTHER PROFESSIONAL(S): \_\_\_\_\_

STREET ADDRESS & DESCRIPTION OF PROPERTY 43 BEAN ROAD, WARNER

MAP # 13 LOT # 1 ZONING DISTRICT OG1 NUMBER OF LOTS/UNITS: 2

FRONTAGE ON WHAT STREET(S): BEAN RD, WARNER

DEVELOPMENT AREAS: 559,277<sup>±</sup> 12.84 acres<sup>±</sup> BUILDING/ADDITION: \_\_\_\_\_ sq. ft.

DEED REFERENCE: Book \_\_\_\_\_ Page \_\_\_\_\_ Please include a copy of the Deed.

PROPOSED USE: RESIDENTIAL DEVELOPMENT

DETAILS OF REQUEST: Indicate number of separate pages attached, if necessary. SUBDIVIDE 1 LOT TO 2 LOTS. A MINOR SUBDIVISION

**Authorization/Certification from Property Owner(s)**

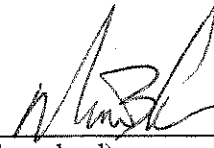
I (We) hereby designate \_\_\_\_\_ to serve as my agent and to appear and present said application before the Warner Planning Board.

By submitting this application I (We) hereby authorize and understand that agents of the Town may visit the site without further notice. I (We) further understand the Planning Board may at some point during the review process schedule a Site Visit, which will be duly posted.

I (We) understand that the Planning Board will review the plan and/or may send the plan out for review. The applicant shall pay for such a review. A Public Hearing shall not be held until the Planning Board determines if the application is complete.

To the best of my knowledge, the information provided herein is accurate and is in accordance with the Town of Warner Zoning Ordinance and other land use regulations of the Town including but not limited to the Subdivision Regulations, Site Plan Regulations and other applicable state and federal regulations which may apply.

All sections of this application must be completed, including Owners Authorization/Certification, Abutters List, and Appendix A Checklist.

Signature of Property Owner(s):  Date: 3/8/2021  
(Need signatures of all owner's listed on deed)


Print Names Matthew B Courser / Michele C. Courser

Signature of Applicant(s) if different from Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Print Names \_\_\_\_\_

**For Planning Board Use Only**

Date Received at Town Office: 3/8/2021

Received By: 

Fees Submitted: Amount: \$480.00 Cash: \_\_\_\_\_ Check #  Other: \_\_\_\_\_

Abutter's List Received: Yes  No \_\_\_\_\_

Date of Review: \_\_\_\_\_ Date of Hearing: 4/5/2021 Date Approved: \_\_\_\_\_



**TOWN OF WARNER**  
**Land Use Office**  
 P.O. Box 265  
 Warner, New Hampshire 03278-0059  
 Telephone: (603) 456-2298, ext. 7  
 Fax: (603) 456-2297  
 E-Mail: [landuse@warner.nh.us](mailto:landuse@warner.nh.us)

## Planning Board - Application Fees

Name of Applicant Matthew & Michele Courser Project Location: Subdivision Map 13, Lot 1

Received By *Junio [Signature]* Date Fee Received 3/15/2021

Type of Application	Fee Schedule	Fee Calculation
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Conceptual Consultation (submit application with no plans to copy) \$ No Fee

<input checked="" type="checkbox"/> Subdivision	\$250 Base Fee (Final Application or Design Dev.) \$50 per lot # of lots <u>2</u> x \$50 = \$15 per notification # notices <u>7</u> x \$15 = \$25 minimum compliance inspect, additional per Board Legal Notice in Publication - due prior to Hearing Escrow for 3 <sup>rd</sup> party review or inspection – per Board MCRD** recording fee – separate check charged below LCHIP*** – separate \$25 check – charged below	\$ <u>250.00</u> \$ <u>100.00</u> \$ <u>105.00</u> \$ <u>25.00</u> \$ <u>invoiced</u> \$ <u>TBD by Board</u> \$ <u>separate**</u> \$ <u>separate***</u> Subtotal \$ <u>480.00</u> ✓* (Check made out to "Town of Warner")
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<input type="checkbox"/> Site Plan Review	\$400 Base Fee (Final Application or Design Development) \$15 per notification # notices _____ x \$15 = \$25 minimum compliance inspect, additional per Board Legal Notice in Publication - due prior to Hearing Escrow for 3 <sup>rd</sup> party review or inspection – per Board MCRD** recording decision – check per rate below	\$ _____ \$ _____ \$ _____ \$ <u>invoiced</u> \$ <u>TBD by Board</u> \$ <u>separate**</u> Subtotal \$ _____* (Check made out to "Town of Warner")
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<input type="checkbox"/> Home Occupation	\$25 Base Fee (plus \$100 if a Hearing is required) If a Hearing is required add \$15 per notification If a Hearing add \$25 for compliance inspection Legal Notice in Publication due prior to Hearing	\$ _____ \$ _____ \$ _____ \$ <u>invoiced</u> Subtotal \$ _____* (Check made out to "Town of Warner")
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<input type="checkbox"/> Lot Line Adjustment	\$150 Base Fee (plus \$100 if abutters request a Hearing)	\$ _____
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	\$15 per notification – if requested by abutter(s)	\$ _____
	\$25 minimum compliance inspection	\$ _____
	Legal Notice Publication -due prior to Hearing	\$ <u>invoiced</u>
	MCRD** recording fee – separate check per rate below	\$ <u>separate**</u>
	LCHIP*** – separate \$25 check	\$ <u>separate***</u>
	Subtotal	\$ _____ *
		(Check made out to "Town of Warner")

_____ Voluntary Merger	\$60 Base Fee	\$ _____
	MCRD** recording fee – separate check per rate below	\$ <u>separate**</u>
	Subtotal	\$ _____ *
		(Check made out to "Town of Warner")

\* = Subtotals above due with application. Please make check payable to "TOWN OF WARNER" for the above amount.

Escrow amount shall be determined by the Board. Minimum amount shall be \$500; \$1,000 if new road.

**Re-notifications:** .Additional \$100 fee (or per Board), plus publication notice cost, plus \$15 per notification.

TWO Separate Checks (Upon completion / approval):		
_____	\$26.00 per plan mylar and \$12.49 per document page – recording fee check payable to "Merrimack County Registry of Deeds"	\$ _____ **
_____	\$25.00 per plan set for LCHIP fee (RSA 478:17-g) – check payable to "Merrimack Country Registry of Deeds"	\$ _____ ***

\*\* = \$26 per plan mylar & \$12.49 per doc. page -Check payable to "Merrimack County Registry of Deeds"

\*\*\* = \$25 per plan set for LCHIP Fee (RSA 478:17-g) - Chk payable to "Merrimack County Registry of Deeds"

MATTHEW B COURSER  
MICHELE L COURSER  
43 Bean Rd  
WARNER, NH 03278

5716

54-7014/2117

Mar 15 2021

PAY TO THE ORDER OF Town of Warner

\$ 480<sup>00</sup>/<sub>100</sub>

Four hundred eighty 00/100

DOLLARS



SUGAR RIVER BANK  
10 NORTH MAIN ST  
NEWPORT, NH 03773

Subdivision fees

Michael L Courser

⑆ 211770145⑆ ⑆ 23 8586201⑆ 5716

## Subdivisions, Boundary or Lot Line Adjustments and Annexations Checklist

### Town of Warner, NH

The following checklist shall be completed by the applicant, signed, and submitted along with the application package. For full descriptions of the checklist items, see the referenced sections of the Warner Subdivision Regulations.

The checklist refers only to the required submittals necessary to begin Planning Board review of a project. The Warner Subdivision Regulations should be consulted for design standards and other requirements. Applicants should familiarize themselves with the Warner Subdivision Regulations as well as any other pertinent Ordinances and Regulations prior to filing an application. Applicants may schedule a preliminary conceptual consultation with the Board to discuss any proposal on an informal basis.

APPLICABLE (Y/N)	INCLUDED (Y/ N)	
		<u>General Information Required for all Subdivisions, Boundary or Lot Line Adjustments and Annexations (Section V.A)</u>
<u>Y</u>	<u>Y</u>	(V.A.1) Subdivision name; Names and addresses of the applicant and owner; Written certification from owner.
<u>Y</u>	<u>Y</u>	(V.A.2) Three (3) paper copies on 22x34 with appropriate references and eleven (11) copies of 11x17. NOTE: See complete description for final plat information needed.
<u>Y</u>	<u>Y</u>	(V.A.3) Graphic or bar scale shown on plat; Scale not less than 1" = 100'.
<u>Y</u>	<u>Y</u>	(V.A.4) Location of existing and proposed lot lines; Bearings to the nearest thirty seconds; Dimensions to the nearest hundredth of a foot; Error of closure not more than 1:10,000; Area of existing and proposed lots in square feet and in acres; Type and location of existing and proposed monuments or boundary markers; Tie to State Grid Coordinate System shown on plat if within 1000 feet.
<u>Y</u>	<u>Y</u>	(V.A.5) Current owners and all abutters keyed to plan; Correct names and mailing addresses of owner and abutters on separate paper.
<u>Y</u>	<u>Y</u>	(V.A.6) Name, address, signature, license number, and seal of the NH registered land surveyor and/or engineer who prepared the Final Plat.
<u>Y</u>	<u>Y</u>	(V.A.7) Date of survey, dates of any revisions, north arrow (true north and magnetic north); Location (locus) map at 1" = 1000' ← UNAVAILABLE

NOT AVAILABLE WITHIN 1000'

APPLICABLE (Y/N)	INCLUDED (Y/N)	
<u>Y</u>	<u>Y</u>	(V.A.8) Tax map and parcel number. The numbering is to be approved by the Accessing office BEFORE the plans are brought to the Planning Board.
<u>Y</u>	<u>Y</u>	(V.A.9) Zoning District(s) and District lines; Building setback lines.
<u>Y</u>	<u>Y</u>	(V.A.10) Title and deed references.
<u>Y</u>	<u>Y</u>	(V.A.11) Legal description of existing and proposed easements, deed restrictions, and other encumbrances, covenants, reservations or restrictions and appropriate notations on plat.
<u>N</u>	___	(V.A.12) Listing of all variances and special exceptions granted by the ZBA for the parcel involved and dates granted.
<u>Y</u>	<u>Y</u>	(V.A.13) Names of all adjoining street(s).
<u>Y</u>	<u>Y</u>	(V.A.14) Approximate contours at 10' intervals; Significant natural features, including perennial streams, wetlands, etc.
<u>Y</u>	<u>Y</u>	(V.A.15) Location of existing and proposed buildings, drives, wells, septic systems, and all other manmade features.
		<u>Additional Information Required for Lot Line Adjustments and Annexations (Section V.B)</u>
<u>Y</u>	<u>Y</u>	(V.B.1.a.) Detailed survey map showing original boundaries of the adjacent parcels and the new property line or lines created as a result of the annexation or lot line adjustment.
<u>N</u>	___	(V.B.1.b) Tape and compass survey with a minimum accuracy of 1:500 of the entire parcel of land and a metes and bounds survey only for the land being transferred may be required.
<u>Y</u>	___	(V.B.2) Abutters may be heard and may request a public hearing.
<u>N</u>	___	(V.B.3) In the case of annexation, a deed restriction in the body of the deed or other instrument of transfer and on the plat.

APPLICABLE (Y/N)	INCLUDED (Y/N)	
<u>N</u>	—	(V.B.4) Statement placed on plat stating: "This plan shows a conveyance of land for the purpose of lot line adjustment/annexation as defined in the Warner subdivision regulations. This approval does not constitute a subdivision."
		<u>Additional Information Required for all Minor/Major Subdivisions (Section V.C)</u>
<u>Y</u>	<u>Y</u>	(V.C.1) Soil types and boundaries shown by dotted lines based on Merrimack County Soil Survey; Location of all test pits and test borings and a legend which explains map symbols, describes NHDES soils groups, and describes the properties of the soils regarding their suitability for septic systems, foundations, basements, building and road construction.
<u>Y</u>	<u>Y</u>	(V.C.2) Local, County, or State approvals for individual water service and sewage disposal systems; Percolation test results. A statement from WVWD attesting to the availability of such service shall be submitted. <b>SEE PLAN</b>
<u>Y</u>	<u>Y</u>	(V.C.3) Location of water courses, wetlands, floodplains, ponds, rock ledges, tree lines, hydric soils as determined by NHDES regulations, other natural features; Compliance with Town of Warner Flood Plain Development Ordinance.
<u>Y</u>	<u>Y</u>	(V.C.4) Contours at 2' or 5' intervals, depending on grade, shown with dashed lines; Spot elevations at low points, high points, and other areas.
<u>Y</u>	<u>Y</u>	(V.C.5) Location of all monuments; Placement of stakes and ribbons marking corners of all proposed lots or sites of a Major Subdivision.
<u>Y</u>	<u>Y</u>	(V.C.6) Report from the NH Natural Heritage Inventory identifying rare plant and animal species and exemplary natural communities in or near the proposed subdivision; Environmental Impact Assessment, i f such species or communities are identified.
<u>N</u>	—	(V.C.7) Location within or bounding the parcel of all culturally, historically or unique features.



APPLICABLE (Y/N)	INCLUDED (Y/N)	NA
		<u>Additional Information Required for all Major Subdivisions (Section V.D)</u>
___	___	(V.D.1) Location and width of existing and proposed streets and roads, with grades, cross-sections at 50 feet intervals plotted at 1"=10' horizontal and vertical scale, and road profiles plotted with the same horizontal scale as the plans and a horizontal to vertical scale ratio of 5 to 1 respectively for proposed streets.
___	___	(V.D.2) Location, size and invert elevation of sanitary and stormwater sewers; Location and size of water mains; Location of gas mains, fire hydrants, electric and telephone poles and street lights. All drainage ways and drainage structures; Distance to, and size of nearest water and sewer mains.
___	___	(V.D.3) Sketch plan of contiguous holdings showing future layout, street and drainage systems.
___	___	(V.D.4) Centerline and centerline stationing of all streets; Stationing shall show all points of curvature and all points of tangency.
___	___	(V.D.5) Documentation showing feasibility of future extension of temporary turnaround into adjoining properties.
___	___	(V.D.6) Plan for restoring temporary turnaround where extension of street is shown.
___	___	(V.D.7) Statement that proposed street centerlines and lot locations have been adequately flagged on the ground to allow onsite evaluation of the proposed subdivision by the Board and its agents.
___	___	(V.D.8) Data listing. Area of land; number of lots; length of streets in feet; acres of open space; list of abutters with addresses.
___	___	(V.D.9) Erosion plan.
___	___	(V.D.10) Land disturbance.

APPLICABLE (Y/N)	INCLUDED (Y/N)	
—	—	(V.D.11) Drainage Plan.
—	—	(V.D.12) Phasing plan.
—	—	(V.D.13) Other information required by the Board.
—	—	(V.D.14) Certifications affixed to Plan with signatures and seals.
		<u>Special Requirements (Section V.E)</u>
—	—	(V.E.1) Traffic Impact Assessment.
—	—	(V.E.2) Fiscal Impact Analysis.
—	—	(V.E.3) School Impact Analysis.
—	—	(V.E.4) Community Services Impact Assessment.
—	—	(V.E.5) Other considerations, special investigations.

**Abutter(s) List**

Please list the names and addresses of all owners of property that abut the subject property, defined as follows:

“Abutter” as defined in RSA 672:3: also includes any person whose property has a boundary which is within two hundred (200) feet of any boundary of the land under consideration, or has frontage on a pond on which the land under consideration also has frontage. [Amended March 2020]

The abutters list must be obtained from the Town of Warner’s Assessors records within 5 days of submission of this application

In addition to abutters, please include the names and addresses of the applicant, owner(s) of the subject property, and, as applicable, the owners’ agent, engineer, land surveyor, architect, soil scientist, wetland scientist, and holders of conservation, preservation, or agricultural preservation restrictions.

I certify that this abutters list was obtained from the Town of Warner’s Assessors records on:

\_\_\_\_\_ (date)

Signature \_\_\_\_\_

Print Name \_\_\_\_\_

Map 9 Lot 7-2

Name: MICHAEL T. AYOTTE

Address: 40 MINK HILL LANE  
WARNER, NH 03278

Map 9 Lot 7-1

Name: ADAM DEBRIGARD

Address: MINK HILL LANE  
WARNER, NH 03278

Map 9 Lot 6-1

Name: TOWN OF WARNER

Address: PO BOX 265  
WARNER, NH 03278

**Town of Warner Planning Board Abutter(s) List (continued)**

Map: 9 Lot: 2

Name: TOWN OF WARNER

Address: PO BOX 265

WARNER, NH 03278

Map: 9 Lot: 3

Name: TOWN OF WARNER

Address: PO BOX 265

WARNER, NH 03278

Map: 9 Lot: 1

Name: JA + PK DONALDSON REV. TRST

Address: WARNER, NH 03278

*4 Bean Road*

Map: 13 Lot: 4

Name: AYERS REV. TRST

Address: BEAN ROAD

WARNER, NH 03278

*4070 James Rd.  
Cocoa, FL 32926*

Map: 13 Lot: 3

Name: DANIEL B. VENTOLA

Address: 68 BEAN ROAD

WARNER, NH 03278

Map: 13 Lot: 3-1

Name: JOHN C. KLUCINED

Address: 56 BEAN ROAD

WARNER, NH 03278

Map 13

Lot 3-3

Name: JONATHAN CROWDES

Address: 78 BEAN ROAD

WARNER, NH 03278

Map \_\_\_\_\_

Lot \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Map \_\_\_\_\_

Lot \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Map \_\_\_\_\_

Lot \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Map \_\_\_\_\_

Lot \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Map \_\_\_\_\_

Lot \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

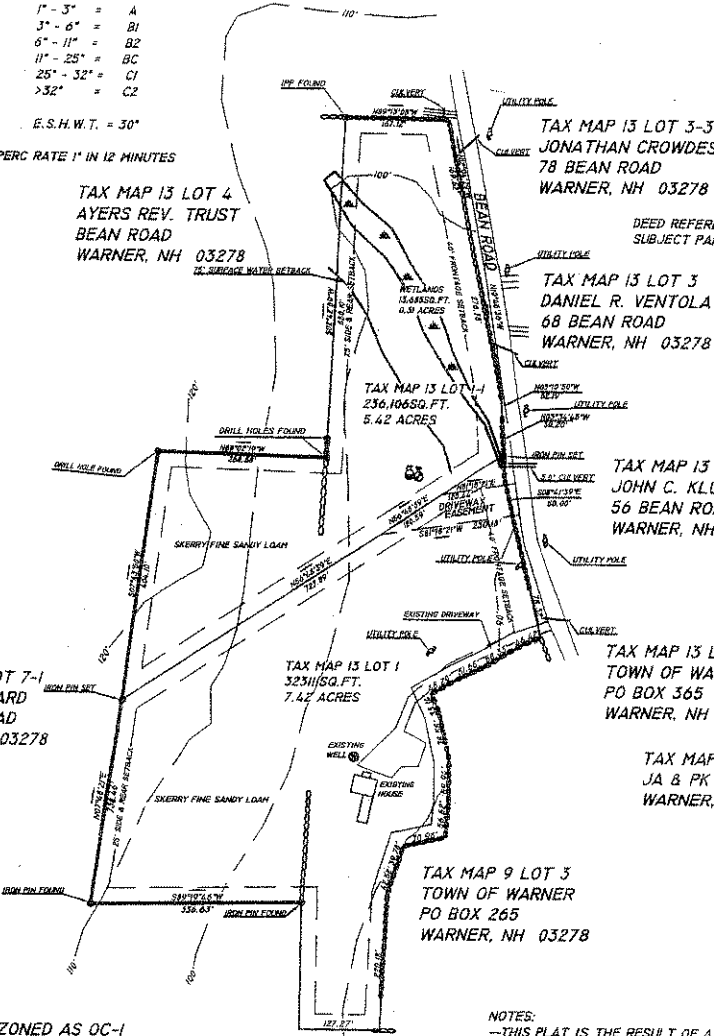
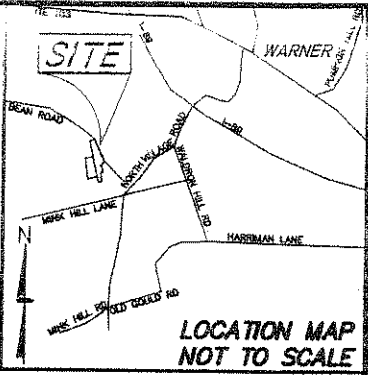
THE SUBDIVISION REGULATIONS OF THE TOWN OF WARNER ARE A PART OF THIS PLAT, AND APPROVAL OF THE PLAT REQUIRES THE COMPETITION OF ALL THE REQUIREMENTS OF SAID SUBDIVISION REGULATIONS EXCEPTING ONLY ANY RELAXATION OF REQUIREMENTS GRANTED IN WRITING BY THE PLANNING BOARD.

**SOIL PROFILE**

- 0" - 1" = 0
- 1" - 3" = A
- 3" - 6" = B1
- 6" - 11" = B2
- 11" - 25" = BC
- 25" - 32" = C1
- >32" = C2

E.S.H.W.T. = 30"

PERC RATE 1" IN 12 MINUTES



TAX MAP 13 LOT 4  
AYERS REV. TRUST  
BEAN ROAD  
WARNER, NH 03278

TAX MAP 13 LOT 3-3  
JONATHAN CROWDES  
78 BEAN ROAD  
WARNER, NH 03278

TAX MAP 13 LOT 3  
DANIEL R. VENTOLA  
68 BEAN ROAD  
WARNER, NH 03278

DEED REFERENCES: MERRIMACK COUNTRY REGISTRY OF DEEDS  
SUBJECT PARCEL IS TAX MAP 13 LOT 1 - BOOK 1978 PAGE 675

TAX MAP 13 LOT 1-I  
236,106 SQ. FT.  
5.42 ACRES

TAX MAP 13 LOT 3-1  
JOHN C. KLUCINED  
56 BEAN ROAD  
WARNER, NH 03278

TAX MAP 9 LOT 7-1  
ADAM DEBRIGARD  
MINK HILL ROAD  
WARNER, NH 03278

TAX MAP 13 LOT 1  
323,111 SQ. FT.  
7.42 ACRES

TAX MAP 13 LOT 3-8  
TOWN OF WARNER  
PO BOX 365  
WARNER, NH 03278

TAX MAP 9 LOT 1  
JA & PK DONALDSON REVOC. TRST.  
WARNER, NH 03278

TAX MAP 9 LOT 5  
TOWN OF WARNER  
PO BOX 265  
WARNER, NH 03278

LOT IS ZONED AS OC-1  
OPEN CONSERVATION 1

TAX MAP 9 LOT 7-2  
MICHAEL T. AYOTTE  
40 MINK HILL LANE  
WARNER, NH 03278

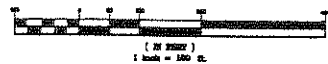
TAX MAP 9 LOT 6-1  
TOWN OF WARNER  
PO BOX 265  
WARNER, NH 03278

- NOTES:
- THIS PLAT IS THE RESULT OF A ELECTRONIC TOTAL STATION SURVEY HAVING A CONTROLLED TRAVERSE ACCURACY OF 1:10,000.
  - PARCEL A, WHICH IS PART OF TAX MAP 9 LOT 7-2, IS TO BE CONVEYED TO TAX MAP 13 LOT 1.
  - TOPOGRAPHIC CONTOURS ON FIELD OBSERVATIONS & AERIAL PHOTOS
  - CONTOUR INTERVAL IS 10'
  - THE PARCEL BEING TRANSFERRED AS A RESULT OF THE LOT LINE ADJUSTMENT IS 5.04 ACRES (REFERRED AS PARCEL A) WILL BECOME PART OF TAX MAP 13 LOT 1 WHICH WILL INCREASE TO 13.24 ACRES
  - THE REMAINING AREA OF TAX MAP 9 LOT 7-2 WILL BE 304,950 SQ.FT. OR 7.00ACRES
  - THIS PROPERTY IS ZONED AS OPEN CONSERVATION ONE (OC-1)
  - SOIL TYPE IS SKERRY FINE SANDY LOAM FROM WEB SOIL SURVEY.

**SUBDIVISION PLAN**  
FOR  
PROPERTY OF  
**MATTHEW & MICHELE COURSER**  
TAX MAP 13 LOT 1  
LOCATED ON  
BEAN ROAD  
WARNER NEW HAMPSHIRE

REQUIRED	WETLANDS	STEEP SLOPE OVERLAY	BUILDABLE AREA
TAX MAP 13 LOT 1	0	0	323,111 SQ.FT. 7.42 ACRES
TAX MAP 13 LOT 1-I	15,668 SQ.FT. 0.37 ACRES	0	225,421 SQ.FT. 5.11 ACRES

JANUARY 2021  
GRAPHIC SCALE



**JEFFREY A. EVANS**

LICENSED LAND SURVEYORS, PERMITTED SEPTIC DESIGNERS  
CERTIFIED WETLAND SCIENTIST 10B

F.O. BOX 472 SOUTH SUTTON, NH 03275 603 927-4696

APPROVED BY THE WARNER PLANNING BOARD, WARNER, NEW HAMPSHIRE

CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_

Return to:  
Matthew Courser  
Michele Courser  
43 Bean Road, Warner, NH 03278

### WARRANTY DEED

Michael T. Ayotte and Annie L. Ayotte, husband and wife, of 40 Mink Hill Lane, Warner, NH 03278, for consideration paid,

Grant to Matthew B. Courser and Michele Lynn Courser, of 43 Bean Road, Warner, NH 03278, as joint tenants with rights of survivorship, with warranty covenants;

A certain tract or parcel of land situated in the Town of Warner, County of Merrimack and State of New Hampshire, designated as Parcel A on a plan entitled "Lot Line Adjustment Plan for property of Matthew & Michele Courser Tax Map 13 Lot 1 Located on Bean Road and Michael T. Ayotte Tax Map 9 Lot 7-2 Located on Mink Hill Lane Warner New Hampshire", dated December 2020, Scale: 1" = 100', prepared by Jeffrey A. Evans, Licensed Land Surveyors, Permitted Septic Designers, Certified Wetland Scientist 105, approved by the Town of Warner of January 25, 2021 and recorded in the Merrimack County Registry of Deeds as Plan Number 202100003114, and being further bounded and described as follows:

Beginning at a point, being a capped rebar set, said point being the southwesterly corner of Parcel A;

1. N 07° 48' 21" E a distance of 738.46 feet along the westerly side of Parcel A to a drill hole found;
2. S 88° 02' 19" E a distance of 268.58 feet to a drill hole found;
3. S 02° 31' 42" W a distance of 393.70 feet along the easterly side of Parcel A;
4. Continuing along the easterly side of Parcel A, S 02° 01' 42" W a distance of 142.30 feet;
5. Continuing along the easterly side of Parcel A, S 02° 58' 42" W a distance of 153.00 feet along a stone wall to a point;
6. Continuing along the easterly side of Parcel A, S 03° 08' 15" W a distance of 30.19 feet to a capped rebar set;
7. S 89° 19' 46" W a distance of 336.63 feet to the point of beginning.



Parcel A contains 5.04 acres, more or less.


Parcel A is to become a part of Tax Map 13 Lot 1 and is not to be considered a separate lot of record.


Subject to any and all matters as shown on Plan Nos. 17077 and 202100003114.

Subject to Current Use Taxation as recorded in Book 1373, Page 617 and Book 1348, Page 365; as affected by Partial Release recorded in Book 2830, Page 1371.

For Title Reference, see conveyance to Michael T. Ayotte and Annie L. Ayotte by Warranty Deed from Roy A. Ferguson and Virginia T. Ferguson, dated December 30, 2004 and recorded in Book 2728, Page 413 of the Merrimack County Registry of Deeds.

Executed this 1st day of March, 2021.

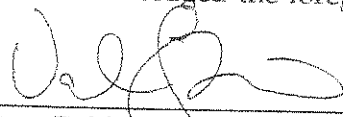
  
 \_\_\_\_\_  
 Michael T. Ayotte

  
 \_\_\_\_\_  
 Annie L. Ayotte

STATE OF NEW HAMPSHIRE

Hillsborough, SS

Then personally appeared before me on this 1st day of March, 2021, the said Michael T. Ayotte and Annie L. Ayotte and acknowledged the foregoing to be their voluntary act and deed.

  
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 Notary Public/Justice of the Peace  
 My commission expires:





New Hampshire Natural Heritage Bureau  
NHB DataCheck Results Letter

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To: Jeff Evans  
P.O.Box 472  
South Sutton, NH 03273

From: NH Natural Heritage Bureau

Date: 2/26/2021 (This letter is valid through 2/26/2022)

Re: Review by NH Natural Heritage Bureau of request dated 2/26/2021

**Permit Type:** WARNER

**NHB ID:** NHB21-0704

**Applicant:** Jeff Evans

**Location:** Warner  
Tax Map: 13, Tax Lot: 1  
Address: bean road

**Proj. Description:** 2 lot subdivision

The NH Natural Heritage database has been checked for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government. We currently have no recorded occurrences for sensitive species near this project area.

A negative result (no record in our database) does not mean that a sensitive species is not present. Our data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to our office. However, many areas have never been surveyed, or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.